



**COMMITTEE OF ADJUSTMENT AGENDA**

**Wednesday, November 20, 2024, 6:00 p.m.**

**HYBRID HEARING**

**In-Person (Council Chambers) and Virtual ([www.king.ca/meetings](http://www.king.ca/meetings))**

---

	<b>Pages</b>
<b>1. Call to Order</b>	
<b>2. Declarations of Interest</b>	
<b>3. Adoption of Minutes</b>	<b>3</b>
Recommendation:	
<b>THAT</b> the draft minutes of the COA Hearing of October 16, 2024 as attached be <b>APPROVED</b> .	
<b>4. Requests for Deferrals</b>	
<b>5. Applications to be Heard</b>	
<b>5.1 File # A-24-49</b>	<b>6</b>
<b>88 Sunny Acre Crescent, King City</b>	
<b>Lot 24, Registered Plan 65M-4797</b>	
<b>Ward: 1</b>	
<b>Applicant: Scouli Developments (BT) Inc. (c/o Howard Li)</b>	
<b>Agent: Malone Given Parsons Ltd. (c/o Steven McIntyre)</b>	
Recommendation:	
<b>THAT</b> application #A-24-49 <b>BE APPROVED</b> with conditions as noted in Attachment 1.	
<b>5.2 File # A-24-50</b>	<b>59</b>
<b>204 Hollingsworth Drive, King City</b>	
<b>Plan 502, Lot 44</b>	
<b>Ward: 1</b>	
<b>Applicant: Gurvir Pahal</b>	
<b>Agent: Lucas Cocomello, Schillerco Ltd.</b>	

Recommendation:

**THAT** application #A-24-50 **BE APPROVED** with conditions as noted in Attachment 1.

**6. Next Meeting**

Hybrid hearing on **Wednesday, December 11, 2024** at 6 p.m. in Council Chambers

**7. Motion to Adjourn Meeting**





## Committee of Adjustment Minutes

October 16, 2024, 6:00 p.m.  
Council Chambers  
King Township Municipal Centre

Members Present: Cleve Mortelliti  
Dino Coletti  
Mark Carafa  
Terence Price

Members Absent: Brent King

---

**1. Call to Order**

Chair C. Mortelliti called the meeting to order.

**2. Declarations of Interest**

None

**3. Adoption of Minutes**

**Moved by:** Terence Price

**Seconded by:** Mark Carafa

**Carried**

**4. Requests for Deferral**

None

**5. Applications to be Heard**

**5.1 File # B-24-03**

**Moved by:** Terence Price

**Seconded by:** Mark Carafa

**THAT** Consent Application # B-24-03 **BE APPROVED** (in connection with B-24-04) with conditions as noted in attachment 1 (table of conditions chart).

**Carried**

**5.2 File # B-24-04**

**Moved by:** Terence Price  
**Seconded by:** Mark Carafa

**THAT** Consent Application # B-24-04 **BE APPROVED** (in connection with B-24-03) with conditions as noted in attachment 1 (table of conditions chart).

**Carried**

**5.3 File # A-24-43**

**Moved by:** Mark Carafa  
**Seconded by:** Dino Coletti

**THAT** Minor Variance Application A-24-43 **BE APPROVED** with conditions as noted in attachment 5 (table of conditions chart).

**Carried**

**5.4 File # A-24-44**

**Moved by:** Dino Coletti  
**Seconded by:** Terence Price

**THAT** application # A-24-44 **BE APPROVED** with conditions as noted in attachment 1 (table of conditions chart).

**Carried**

**5.5 File # A-24-45**

**Moved by:** Mark Carafa  
**Seconded by:** Dino Coletti

THAT item 5.5 (File #A-24-45) be heard as the last item on the agenda.

**Carried**

**Moved by:** Dino Coletti  
**Seconded by:** Terence Price

**THAT** application #A-24-45 **BE APPROVED** with conditions as noted in attachment 1 (table of conditions chart).

**Carried**

**5.6 File # A-24-46**

**Moved by:** Terence Price  
**Seconded by:** Dino Coletti

**THAT** application #A-24-46 **BE APPROVED** with conditions as noted in attachment 1 (table of conditions chart).

**Carried**

**5.7 File # A-24-47**

**Moved by:** Mark Carafa  
**Seconded by:** Terence Price

**THAT** Application # A-24-47 **BE APPROVED** with conditions as noted in attachment 1 (table of conditions chart).

**Carried**

**5.8 File # A-24-48**

**Moved by:** Mark Carafa  
**Seconded by:** Dino Coletti

**THAT** Application # A-24-48 **BE APPROVED** with conditions as noted in attachment 1 (table of conditions chart).

**Carried**

**6. Next Meeting**

The next meeting of the Committee of Adjustment will be held on Wednesday, November 20th, 2024.

**7. Motion to Adjourn Meeting**

**Moved by:** Terence Price  
**Seconded by:** Mark Carafa

**Carried**



**NOTICE OF PUBLIC HEARING**  
**Minor Variance Application File No. A-24-49**  
(The *Planning Act*, 1990, as amended subsection 45(5))  
**This public meeting will be held Hybrid (In-person and virtual participation)**  
Live streamed at: <https://www.king.ca/cofameetings>

**NOTICE IS HEREBY GIVEN THAT** the following application will be heard before the Committee of Adjustment on:

**WEDNESDAY, NOVEMBER 20, 2024 AT 6:00 P.M.**

**PUBLIC PARTICIPATION**

We ask for written correspondence to be submitted by noon on the Friday prior to the scheduled hearing. Written submissions can be emailed to [cofa@king.ca](mailto:cofa@king.ca), please quote file number in subject line.

Anyone wishing to speak to the Committee of Adjustment virtually, must register by contacting the Secretary Treasurer at [cofa@king.ca](mailto:cofa@king.ca) no later than noon on the Friday prior to the scheduled hearing. When your request to speak is received, a confirmation message and instructions for providing a deputation virtually at the meeting will be provided.

Anyone wishing to speak to the Committee of Adjustment in-person, should register by contacting the Secretary Treasurer at [cofa@king.ca](mailto:cofa@king.ca). You may also register at the hearing in Council Chambers by completing a deputation registration form and providing it to the Secretary Treasurer.

You can watch a live stream of the hearing at [king.ca/cofameetings](http://king.ca/cofameetings) (this link will not allow you to speak during the meeting).

**SUBJECT APPLICATION:**

**Address:** 88 Sunny Acre Crescent, King City  
Lot 24, Registered Plan 65M-4797

**Ward:** 1

**Applicant:** Scouli Developments (BT) Inc. (c/o Howard Li)

**Agent:** Malone Given Parsons Ltd. (c/o Steven McIntyre)

**Zoning:** Residential Urban Single Detached "A" – K3 Exception ('R1A-K3') Zone (74-53) and Residential Single Detached "A" – K3 Exception ('R1A-K3') Zone – R1A-6 (2017-66).

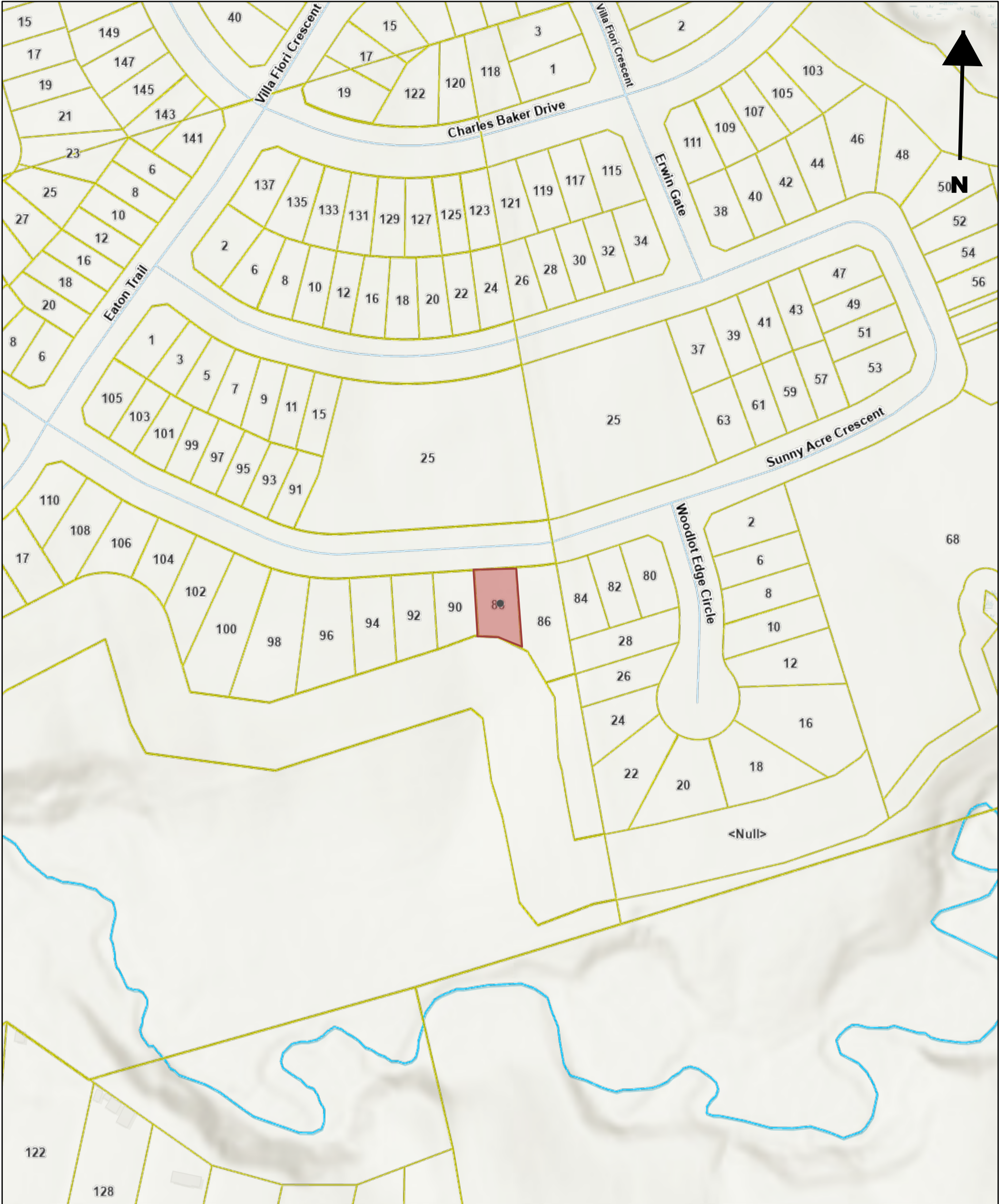
**APPLICATION REQUEST:**

The applicant is seeking relief to increase the maximum permitted encroachment into the required rear yard setback, of an unenclosed covered porch not exceeding one (1) storey in height.

#	Zoning By-law No. 74-53, as amended by By-law No. 2019-075	Variance requested:
1	Section 6.55 (iv) permits a maximum encroachment of 2.4 metres (including eaves and cornices) into a required rear yard for porches not exceeding one (1) storey in height and uncovered terraces (excluding stairs)	Relief from Section 6.55 (iv) to permit a maximum encroachment of 4.0 metres into a required rear yard setback for an unenclosed covered porch not exceeding one (1) storey in height.
#	Zoning By-law No. 2017-66, as amended by By-law No. 2019-076	Variance requested:
2	Section 3.42 (Table 3.42.1 (iv) – Permitted Yard and Setback Encroachments) permits a maximum encroachment of 2.4 metres (including eaves and cornices) into a required rear yard of porches not exceeding one (1) storey in height and uncovered terraces.	Relief from Section 3.42 (Table 3.42.1 (iv)) to permit a maximum encroachment of 4.0 metres into a required rear yard setback for an unenclosed covered porch not exceeding one (1) storey in height.

**PLEASE REFER TO THE ATTACHED SKETCHES FOR THE LOCATION OF THE LAND AND PROPOSED PLANS.**

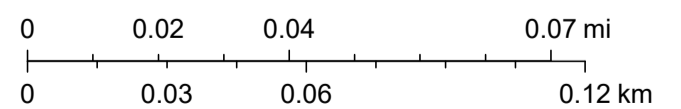
# A-24-49: Location Map



2024-10-23, 2:20:52 p.m.

-  Override 1
-  Parcel Fabric

1:2,257



Esri Community Maps Contributors, Province of Ontario, York Region, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCAN, Parks Canada, Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA,



**PLAN 65M**

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF YORK REGION NO. 65 AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER NO. \_\_\_\_\_ AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. \_\_\_\_\_

Representative For Land Registrar  
 \_\_\_\_\_  
 Representative For Land Registrar

NOTE: THIS PLAN COMPRISES ALL OF PIN 03372-0250.

**PART OF SUBDIVISION OF  
 LOT 8  
 CONCESSION 3  
 TOWNSHIP OF KING  
 REGIONAL MUNICIPALITY OF YORK**

SCALE 1:1000

SCHAEFFER DZALDOV PURCELL LTD.



- NOTES**
- PLANTED IRON BARS STANDARD IRON BAR FOUND MONUMENT IRON BAR STANDARD IRON BAR PLASTIC BAR
  - PLAN 65M-2185
  - PLAN 65M-2186
  - PLAN 65M-2187
  - PLAN 65M-2188
  - PLAN 65M-2189
  - PLAN 65M-2190
  - PLAN 65M-2191
  - PLAN 65M-2192
  - PLAN 65M-2193
  - PLAN 65M-2194
  - PLAN 65M-2195
  - PLAN 65M-2196
  - PLAN 65M-2197
  - PLAN 65M-2198
  - PLAN 65M-2199
  - PLAN 65M-2200
  - PLAN 65M-2201
  - PLAN 65M-2202
  - PLAN 65M-2203
  - PLAN 65M-2204
  - PLAN 65M-2205
  - PLAN 65M-2206
  - PLAN 65M-2207
  - PLAN 65M-2208
  - PLAN 65M-2209
  - PLAN 65M-2210
  - PLAN 65M-2211
  - PLAN 65M-2212
  - PLAN 65M-2213
  - PLAN 65M-2214
  - PLAN 65M-2215
  - PLAN 65M-2216
  - PLAN 65M-2217
  - PLAN 65M-2218
  - PLAN 65M-2219
  - PLAN 65M-2220
  - PLAN 65M-2221
  - PLAN 65M-2222
  - PLAN 65M-2223
  - PLAN 65M-2224
  - PLAN 65M-2225
  - PLAN 65M-2226
  - PLAN 65M-2227
  - PLAN 65M-2228
  - PLAN 65M-2229
  - PLAN 65M-2230
  - PLAN 65M-2231
  - PLAN 65M-2232
  - PLAN 65M-2233
  - PLAN 65M-2234
  - PLAN 65M-2235
  - PLAN 65M-2236
  - PLAN 65M-2237
  - PLAN 65M-2238
  - PLAN 65M-2239
  - PLAN 65M-2240
  - PLAN 65M-2241
  - PLAN 65M-2242
  - PLAN 65M-2243
  - PLAN 65M-2244
  - PLAN 65M-2245
  - PLAN 65M-2246
  - PLAN 65M-2247
  - PLAN 65M-2248
  - PLAN 65M-2249
  - PLAN 65M-2250
  - PLAN 65M-2251
  - PLAN 65M-2252
  - PLAN 65M-2253
  - PLAN 65M-2254
  - PLAN 65M-2255
  - PLAN 65M-2256
  - PLAN 65M-2257
  - PLAN 65M-2258
  - PLAN 65M-2259
  - PLAN 65M-2260
  - PLAN 65M-2261
  - PLAN 65M-2262
  - PLAN 65M-2263
  - PLAN 65M-2264
  - PLAN 65M-2265
  - PLAN 65M-2266
  - PLAN 65M-2267
  - PLAN 65M-2268
  - PLAN 65M-2269
  - PLAN 65M-2270
  - PLAN 65M-2271
  - PLAN 65M-2272
  - PLAN 65M-2273
  - PLAN 65M-2274
  - PLAN 65M-2275
  - PLAN 65M-2276
  - PLAN 65M-2277
  - PLAN 65M-2278
  - PLAN 65M-2279
  - PLAN 65M-2280
  - PLAN 65M-2281
  - PLAN 65M-2282
  - PLAN 65M-2283
  - PLAN 65M-2284
  - PLAN 65M-2285
  - PLAN 65M-2286
  - PLAN 65M-2287
  - PLAN 65M-2288
  - PLAN 65M-2289
  - PLAN 65M-2290
  - PLAN 65M-2291
  - PLAN 65M-2292
  - PLAN 65M-2293
  - PLAN 65M-2294
  - PLAN 65M-2295
  - PLAN 65M-2296
  - PLAN 65M-2297
  - PLAN 65M-2298
  - PLAN 65M-2299
  - PLAN 65M-2300
  - PLAN 65M-2301
  - PLAN 65M-2302
  - PLAN 65M-2303
  - PLAN 65M-2304
  - PLAN 65M-2305
  - PLAN 65M-2306
  - PLAN 65M-2307
  - PLAN 65M-2308
  - PLAN 65M-2309
  - PLAN 65M-2310
  - PLAN 65M-2311
  - PLAN 65M-2312
  - PLAN 65M-2313
  - PLAN 65M-2314
  - PLAN 65M-2315
  - PLAN 65M-2316
  - PLAN 65M-2317
  - PLAN 65M-2318
  - PLAN 65M-2319
  - PLAN 65M-2320
  - PLAN 65M-2321
  - PLAN 65M-2322
  - PLAN 65M-2323
  - PLAN 65M-2324
  - PLAN 65M-2325
  - PLAN 65M-2326
  - PLAN 65M-2327
  - PLAN 65M-2328
  - PLAN 65M-2329
  - PLAN 65M-2330
  - PLAN 65M-2331
  - PLAN 65M-2332
  - PLAN 65M-2333
  - PLAN 65M-2334
  - PLAN 65M-2335
  - PLAN 65M-2336
  - PLAN 65M-2337
  - PLAN 65M-2338
  - PLAN 65M-2339
  - PLAN 65M-2340
  - PLAN 65M-2341
  - PLAN 65M-2342
  - PLAN 65M-2343
  - PLAN 65M-2344
  - PLAN 65M-2345
  - PLAN 65M-2346
  - PLAN 65M-2347
  - PLAN 65M-2348
  - PLAN 65M-2349
  - PLAN 65M-2350
  - PLAN 65M-2351
  - PLAN 65M-2352
  - PLAN 65M-2353
  - PLAN 65M-2354
  - PLAN 65M-2355
  - PLAN 65M-2356
  - PLAN 65M-2357
  - PLAN 65M-2358
  - PLAN 65M-2359
  - PLAN 65M-2360
  - PLAN 65M-2361
  - PLAN 65M-2362
  - PLAN 65M-2363
  - PLAN 65M-2364
  - PLAN 65M-2365
  - PLAN 65M-2366
  - PLAN 65M-2367
  - PLAN 65M-2368
  - PLAN 65M-2369
  - PLAN 65M-2370
  - PLAN 65M-2371
  - PLAN 65M-2372
  - PLAN 65M-2373
  - PLAN 65M-2374
  - PLAN 65M-2375
  - PLAN 65M-2376
  - PLAN 65M-2377
  - PLAN 65M-2378
  - PLAN 65M-2379
  - PLAN 65M-2380
  - PLAN 65M-2381
  - PLAN 65M-2382
  - PLAN 65M-2383
  - PLAN 65M-2384
  - PLAN 65M-2385
  - PLAN 65M-2386
  - PLAN 65M-2387
  - PLAN 65M-2388
  - PLAN 65M-2389
  - PLAN 65M-2390
  - PLAN 65M-2391
  - PLAN 65M-2392
  - PLAN 65M-2393
  - PLAN 65M-2394
  - PLAN 65M-2395
  - PLAN 65M-2396
  - PLAN 65M-2397
  - PLAN 65M-2398
  - PLAN 65M-2399
  - PLAN 65M-2400
  - PLAN 65M-2401
  - PLAN 65M-2402
  - PLAN 65M-2403
  - PLAN 65M-2404
  - PLAN 65M-2405
  - PLAN 65M-2406
  - PLAN 65M-2407
  - PLAN 65M-2408
  - PLAN 65M-2409
  - PLAN 65M-2410
  - PLAN 65M-2411
  - PLAN 65M-2412
  - PLAN 65M-2413
  - PLAN 65M-2414
  - PLAN 65M-2415
  - PLAN 65M-2416
  - PLAN 65M-2417
  - PLAN 65M-2418
  - PLAN 65M-2419
  - PLAN 65M-2420
  - PLAN 65M-2421
  - PLAN 65M-2422
  - PLAN 65M-2423
  - PLAN 65M-2424
  - PLAN 65M-2425
  - PLAN 65M-2426
  - PLAN 65M-2427
  - PLAN 65M-2428
  - PLAN 65M-2429
  - PLAN 65M-2430
  - PLAN 65M-2431
  - PLAN 65M-2432
  - PLAN 65M-2433
  - PLAN 65M-2434
  - PLAN 65M-2435
  - PLAN 65M-2436
  - PLAN 65M-2437
  - PLAN 65M-2438
  - PLAN 65M-2439
  - PLAN 65M-2440
  - PLAN 65M-2441
  - PLAN 65M-2442
  - PLAN 65M-2443
  - PLAN 65M-2444
  - PLAN 65M-2445
  - PLAN 65M-2446
  - PLAN 65M-2447
  - PLAN 65M-2448
  - PLAN 65M-2449
  - PLAN 65M-2450
  - PLAN 65M-2451
  - PLAN 65M-2452
  - PLAN 65M-2453
  - PLAN 65M-2454
  - PLAN 65M-2455
  - PLAN 65M-2456
  - PLAN 65M-2457
  - PLAN 65M-2458
  - PLAN 65M-2459
  - PLAN 65M-2460
  - PLAN 65M-2461
  - PLAN 65M-2462
  - PLAN 65M-2463
  - PLAN 65M-2464
  - PLAN 65M-2465
  - PLAN 65M-2466
  - PLAN 65M-2467
  - PLAN 65M-2468
  - PLAN 65M-2469
  - PLAN 65M-2470
  - PLAN 65M-2471
  - PLAN 65M-2472
  - PLAN 65M-2473
  - PLAN 65M-2474
  - PLAN 65M-2475
  - PLAN 65M-2476
  - PLAN 65M-2477
  - PLAN 65M-2478
  - PLAN 65M-2479
  - PLAN 65M-2480
  - PLAN 65M-2481
  - PLAN 65M-2482
  - PLAN 65M-2483
  - PLAN 65M-2484
  - PLAN 65M-2485
  - PLAN 65M-2486
  - PLAN 65M-2487
  - PLAN 65M-2488
  - PLAN 65M-2489
  - PLAN 65M-2490
  - PLAN 65M-2491
  - PLAN 65M-2492
  - PLAN 65M-2493
  - PLAN 65M-2494
  - PLAN 65M-2495
  - PLAN 65M-2496
  - PLAN 65M-2497
  - PLAN 65M-2498
  - PLAN 65M-2499
  - PLAN 65M-2500

ALL FOUND MONUMENTS ARE NUMBERED 922 UNLESS NOTED OTHERWISE.  
 NOTE: ALL 0.30 RESERVES HAVE BEEN ENLARGED FOR CLARITY.  
 TOTAL AREA OF SUBDIVISION = 21,8107 ha.  
 BEARINGS ARE UTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS 1051980110 AND 1051980111, UTM ZONE 17, NAD83 (ORIGINAL). DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999729.  
 SPECIFIED CONTROL POINTS (SCPs), UTM ZONE 17, NAD83 (ORIGINAL) COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF OREG. 2(16)/10

POINT ID.	NORTHING	EASTING
SCP 1051980110	4863084.212	618805.949
SCP 1051980111	4863086.492	620366.480

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

**OWNER'S CERTIFICATE**

THIS IS TO CERTIFY THAT:  
 1. LOTS 1 TO 97, BOTH INCLUSIVE, BLOCKS 98 TO 121, BOTH INCLUSIVE, SHADYRIDGE STREET, SUNNY ACRES CRESCENT (BOTH PORTIONS), AND CHARLES BAKER DRIVE, SUNNY ACRES CRESCENT (BOTH PORTIONS), AND CHARLES BAKER DRIVE, SUNNY ACRES CRESCENT (BOTH PORTIONS), HAVE BEEN Laid OUT IN ACCORDANCE WITH OUR INSTRUMENTS.  
 2. THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE TOWNSHIP OF KING AS PUBLIC HIGHWAYS.

DATED THE 10TH DAY OF FEBRUARY, 2022.  
 SCOU LI DEVELOPMENTS (BT) INC.

NICHOLAS FIDEL - A.S.O.  
 I HAVE THE AUTHORITY TO BIND THE CORPORATION

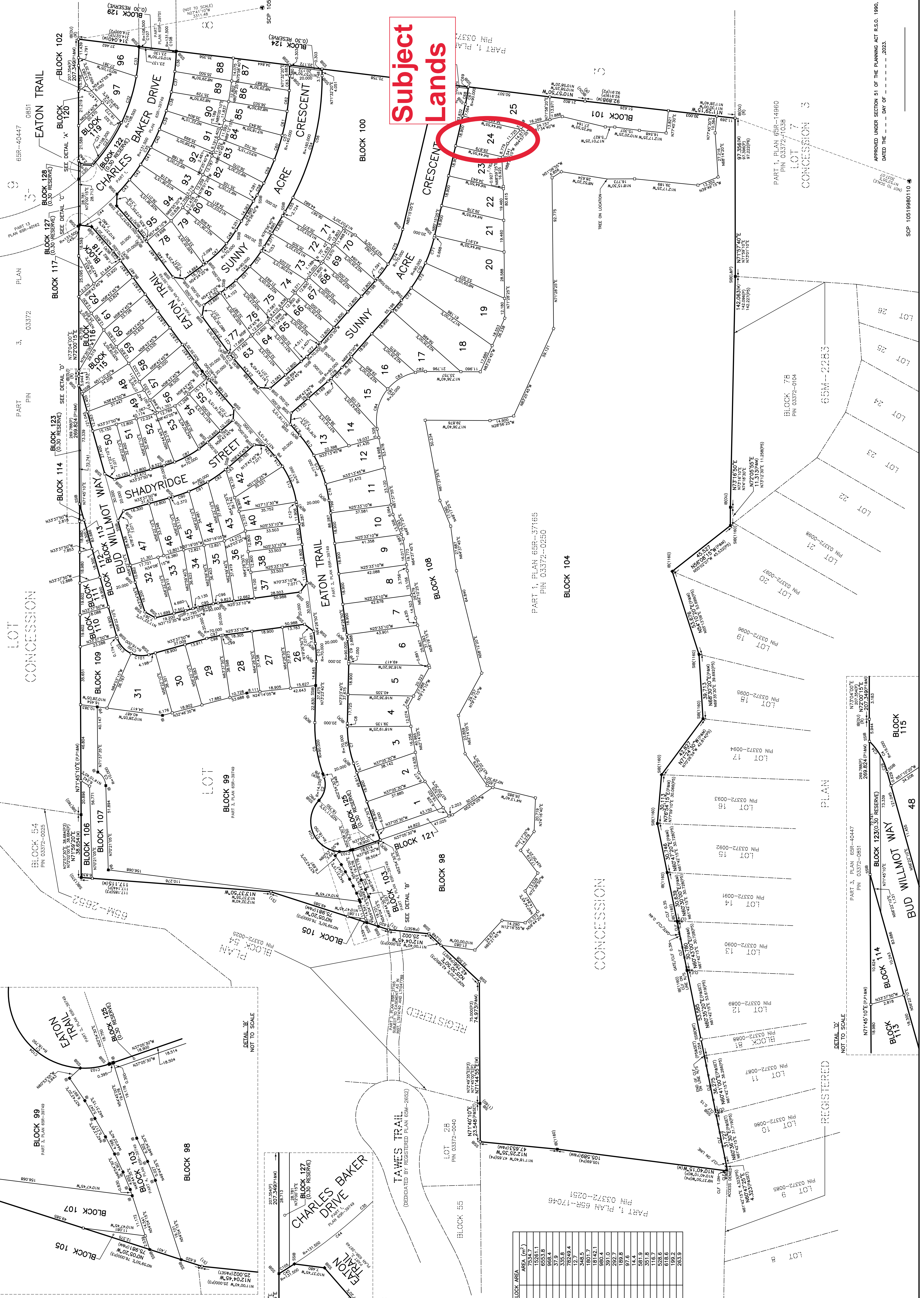
**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEREOF.  
 2. THE SURVEY WAS COMPLETED ON THE 2ND DAY OF FEBRUARY, 2022.

DATE: FEBRUARY 10, 2022.  
 DAN DZALDOV  
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER 2153620

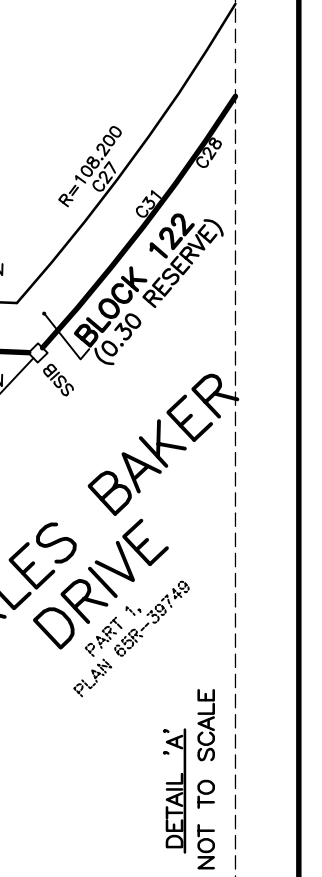
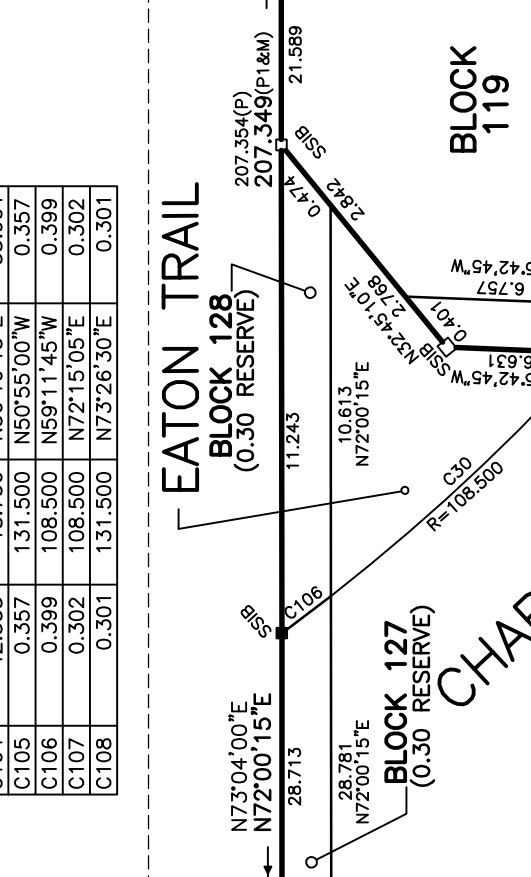
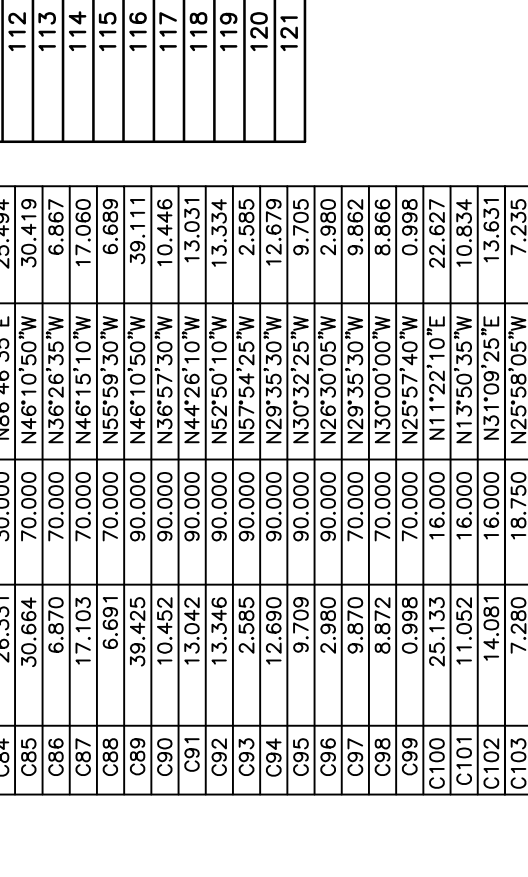
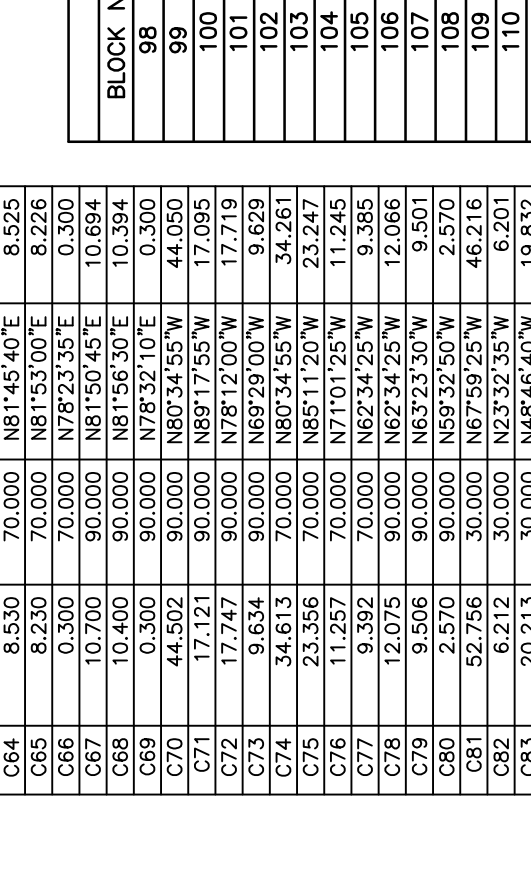
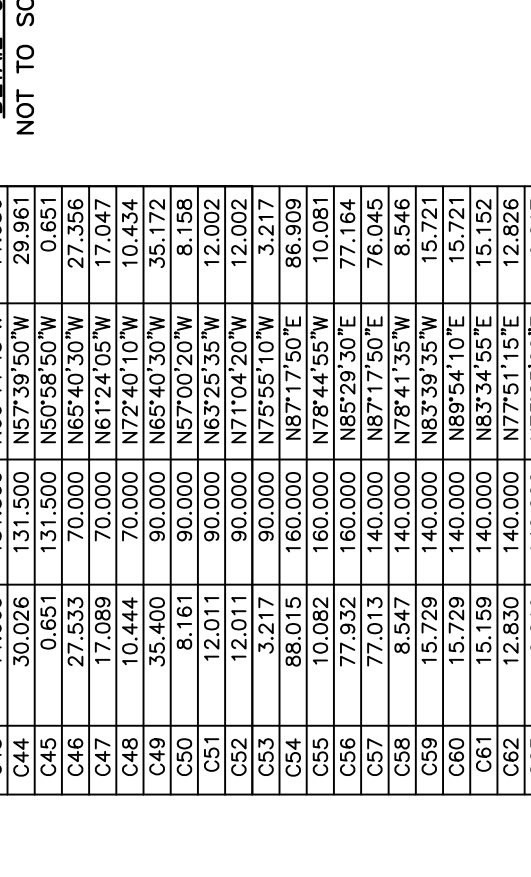
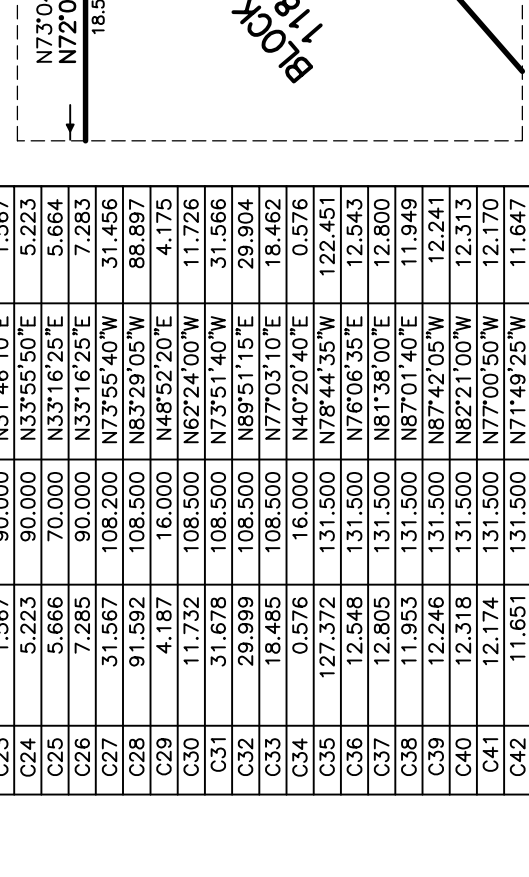
**SCHAEFFER DZALDOV PURCELL LTD.**  
 ONTARIO LAND SURVEYORS  
 64 JARDIN DRIVE  
 CONCORD, ONTARIO L4K 3P3  
 TEL: (416) 897-0101  
 CALC. S.I. DRAWING/AS/CM CHECKED WMP | SCALE 1:1000 | JOB NO. 19-510-50P  
 19T-08008



**METRIC BEARINGS AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES FEET BY DIVIDING BY 0.3048.**

LINE NO.	FROM	TO	BEARING	DISTANCE
C1	49.833	18.750	N72°50'00"E	38.408
C2	10.103	10.000	N41°54'00"E	9.973
C3	40.179	40.000	N41°54'00"E	39.973
C4	32.179	40.000	N41°54'00"E	37.973
C5	25.000	40.000	N41°54'00"E	30.800
C6	2.000	40.000	N41°54'00"E	27.800
C7	0.000	40.000	N41°54'00"E	25.800
C8	0.000	40.000	N41°54'00"E	23.800
C9	0.000	40.000	N41°54'00"E	21.800
C10	0.000	40.000	N41°54'00"E	19.800
C11	0.000	40.000	N41°54'00"E	17.800
C12	0.000	40.000	N41°54'00"E	15.800
C13	0.000	40.000	N41°54'00"E	13.800
C14	0.000	40.000	N41°54'00"E	11.800
C15	0.000	40.000	N41°54'00"E	9.800
C16	0.000	40.000	N41°54'00"E	7.800
C17	0.000	40.000	N41°54'00"E	5.800
C18	0.000	40.000	N41°54'00"E	3.800
C19	0.000	40.000	N41°54'00"E	1.800
C20	0.000	40.000	N41°54'00"E	0.000

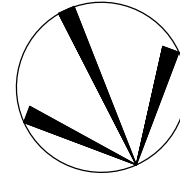
BLOCK NO.	BLOCK AREA (M <sup>2</sup> )
98	7534.7
99	10554.1
100	8664.4
101	37.9
102	28248.4
103	12.7
104	3461.5
105	18142.4
106	18142.4
107	202.7
108	189.8
109	189.8
110	189.8
111	189.8
112	189.8
113	189.8
114	189.8
115	189.8
116	189.8
117	189.8
118	189.8
119	189.8
120	189.8
121	263.9





NOTES :-

- DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS, THE BUILDERS MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.
- BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
- BUILDER TO VERIFY SERVICE CONNECTION ELEVATION PRIOR TO CONSTRUCTING FOUNDATIONS. THE AS-CONSTRUCTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.
- BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.
- EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- WHERE SLOPES EXCEED 5%, 3:1 SLOPES SHALL BE USED TO MAKE UP DIFFERENCE. 4:1 SLOPES SHALL BE USED IF HEIGHT DIFFERENCE EXCEEDS 1.0m.
- ALL ROOF DRAINS SHALL DISCHARGE ONTO SPLASH PADS OR GRASSED AREAS WHERE RDC COLLECTOR IS NOT PROVIDED.
- ALL LOTS TO HAVE MINIMUM 200mm TOPSOIL AND SOD.
- SWALE DEPTH TO BE ACCORDING TO FLOW - MINIMUM 150mm. MAXIMUM SWALE LENGTH SHALL BE 90m.
- MIN. 50% OF ROOF DOWNSPOUTS SHOULD DRAIN TO FRONT YARD ON ALL SPLIT DRAINING LOTS AND WALKOUT LOTS BACKING ONTO ANOTHER LOT.
- RETAINING WALLS TO BE DESIGNED AND SEALED BY A STRUCTURAL ENGINEER. CONSTRUCTION OF THESE WALLS SHALL BE INSPECTED AND CERTIFIED BY A STRUCTURAL ENGINEER AND A GEOTECHNICAL ENGINEER. THE DESIGN OF THE RETAINING WALLS, AND RETAINING WALLS AND FENCE COMBINATION ARE TO BE COORDINATED BY SABOURIN KIMBLE AND ASSOCIATES (SKA). SKA WILL BE RESPONSIBLE FOR COORDINATING CONSTRUCTION, ENSURING THAT PROPER INSPECTIONS ARE CARRIED OUT AND PROVIDING FINAL CERTIFICATION THAT THE WALLS HAVE BEEN CONSTRUCTED AS PER THE DESIGN.
- CLEAR STONE (19mm GRADATION) AT A MINIMUM DEPTH OF 100mm SHALL BE PLACED IN SIDE YARD AREAS BETWEEN HOUSES AND DISTANCE LESS THAN 2.6m INSTEAD OF SOD.
- A TRANSITION RUN-OUT AREA TO DRAIN THE SUB-GRADE SHALL BE PROVIDED AT THE CLEAR STONE/SOD INTERFACE.
- WHERE FENCE IS BETWEEN PRIVATE AND PUBLIC LANDS, 1.8m HIGH CHAIN LINK FENCE WITH 9 GAUGE WIRE AND NO LARGER THAN 37mm OPENING IS REQUIRED. THE POSTS ARE TO BE ON PRIVATE SIDE, INCLUDING THE FOOTINGS, AND THE MESH IS TO BE ON THE PUBLIC SIDE



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	65M-
ZONE	R1A-K3
LOT NUMBER	LOT 24
LOT AREA(m) <sup>2</sup>	608.56
BLDG AREA(m) <sup>2</sup>	240.18
LOT COVERAGE(%)	39.47
No. OF STOREYS	2
MEAN HEIGHT(m)	10.15
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND			
FFE	FINISHED FLOOR ELEVATION	☒	SUMP PUMP
TFS	TOP OF FOUNDATION WALL	☒	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	☒	CABLE PEDESTAL
USF	UNDER SIDE FOOTING	☒	CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	☒	DBL. CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE	☒	ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL	☒	HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	☒	FIRE HYDRANT
WOD	WALKOUT DECK	☒	STREET LIGHT
LOB	LOOKOUT BASEMENT	☒	MAIL BOX
WOB	WALK OUT BASEMENT	☒	TRANSFORMER
WUB	WALK UP BASEMENT	☒	SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN	☒	SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN	☒	WATER CONNECTION
△	DOOR	☒	WATER VALVE CHAMBER
○	WINDOW	☒	HYDRANT AND VALVE
AC	AIR CONDITIONING	☒	HYDRO METER
DS	DOWN SPOUT TO SPLASH PAD	☒	GAS METER
DS	DOWN SPOUT CONNECTED TO STM	☒	MANHOLE - STORM
→	SWALE DIRECTION	☒	MANHOLE - SANITARY
-X-	CHAINLINK FENCE		
-XX-	PRIVACY FENCE		
-XXX-	SOUND BARRIER		
- - -	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE		

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

**SKA SABOURIN KIMBLE & ASSOCIATES LTD.**  
CONSULTING ENGINEERS

### LOT GRADING REVIEW

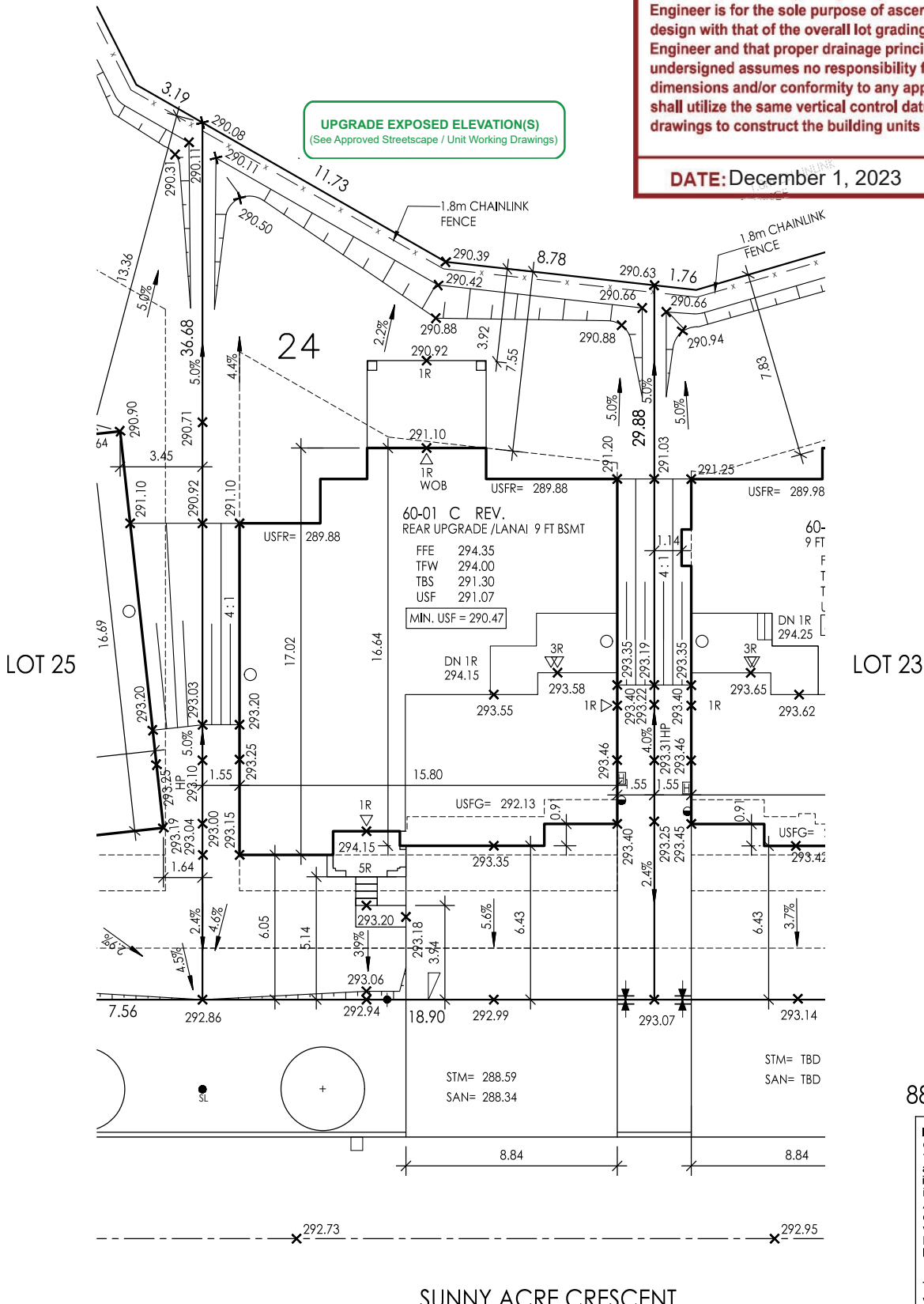
**LOT(S) 24**

REVIEWED  
 REVIEWED AND MODIFIED AS NOTED  
 REVISE AND RE-SUBMIT FOR REVIEW

The review of the lot grading design of the above noted lot(s) by the Consulting Engineer is for the sole purpose of ascertaining general conformance of the design with that of the overall lot grading design as prepared by the Consulting Engineer and that proper drainage principles have been observed. The undersigned assumes no responsibility for the correctness of building dimensions and/or conformity to any applicable zoning by-laws. The builder shall utilize the same vertical control datum as noted on the engineering drawings to construct the building units and lot grading.

DATE: December 1, 2023 BY: *V. Lavigne*

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	21-JULY-23	PP	RP
2	ISSUED FINAL	05-AUG-23	PP	NC
3	REVISED PER CITY COMM - FINAL	23-NOV-23	PP	NC
4	ISSUED FINAL	05-DEC-23	PP	NC



MUNICIPAL ADDRESS:-  
88 SUNNY ACRE CRESCENT

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: *[Signature]*  
DATE: DEC 05, 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**IMPORTANT! FOOTING NOTE:**  
-IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.  
-LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".  
-IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:  
- UP TO 9" FOOTING, LOWER USF BY 0.07  
- 10" FOOTING, LOWER USF BY 0.10  
- 11" FOOTING, LOWER USF BY 0.13  
- 12" FOOTING, LOWER USF BY 0.15  
- 13" FOOTING, LOWER USF BY 0.18  
- 14" FOOTING, LOWER USF BY 0.20

**RN DESIGN** WWW.RNDESIGN.COM  
T:905-738-3177  
WWW.THEPLUSGROUP.CA

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032  
FIRM BCIN: 26995  
DATE: DEC-5-2023  
SIGNATURE: *[Signature]*

CLIENT <b>TREASURE HILL HOMES</b>	
PROJECT/LOCATION <b>SCOULI KING CITY, ONTARIO</b>	
DRAWING <b>SITE PLAN</b>	
DRAWN BY PP	SCALE 1:250
PROJECT No. 19038	LOT NUMBER LOT 24



*Requests for additional information must be emailed to the Secretary-Treasurer at [COFA@King.ca](mailto:COFA@King.ca) or visit the Planning Department at the Municipal Centre from Monday - Friday, 8:30 a.m.–4:30 p.m*

### **IMPORTANT INFORMATION**

**IMPORTANT NOTICE TO OWNER AND/OR AGENT:** It is required that the owner or the authorized agent of the owner make personal representation at the hearing. If you do not attend or are not represented at this hearing, the Committee may: defer the hearing to a date and time convenient to the Committee; may proceed in your absence to make a decision; or may consider the application to have been abandoned or withdrawn and close the file and you will not be entitled to any further notice in the proceedings.

**PUBLIC RECORD:** Personal information collected because of this public meeting is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete the attached Request for Decision Form and submit to [cofa@king.ca](mailto:cofa@king.ca). In the absence of a written request to be notified of the Committee's decision you will not receive notice of future hearings on this application.

### **APPEALING TO THE ONTARIO LAND TRIBUNAL (OLT):** *(The Planning Act, R.S.O. 1990, as amended, Section 45)*

To appeal the decision to the Ontario Land Tribunal (OLT) send a letter to the Secretary-Treasurer for the Township of King Committee of Adjustment outlining the reasons for the appeal, along with the OLT A1 Appeal Form. You must enclose the appeal fee of \$400.00 for each application appealed, paid by certified cheque, made payable to the Minister of Finance. In addition, please note that there is an Appeal Processing Fee of \$824.00 (per application) which is payable to King Township.

Only the applicant/owner, the municipality, or certain public bodies may no later than 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT). When no appeal is lodged within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

For further information, please contact the Secretary-Treasurer, Township of King Committee of Adjustment at [cofa@king.ca](mailto:cofa@king.ca) or 905-833-5321 from 8:30 a.m. to 4:30 p.m.

**NOTICE REQUIREMENTS FOR LANDLORDS & CONDOMINIUM CORPORATIONS:** In accordance with Ontario Regulation 197/96 if you own a building that contains more than 7 (seven) residential units, you must post this public notice in a location that is visible to all residents within your building. In accordance with the Condominium Act, a corporation that is served with a notice under the Planning Act shall notify all persons whose names are in the record of the corporation maintained under subsection 47 (2) and shall make a copy of the notice available for examination.

**DATE OF PUBLIC NOTICE:** November 7, 2024

Adriana Bozzo, Secretary-Treasurer  
Committee of Adjustment  
Planning Division  
King Township





**REQUEST FOR DECISION A-24-49**

To be notified of the Committee's decision or a related Ontario Land Tribunal (OLT) hearing you must complete this form and submit to the Secretary Treasurer, Committee of Adjustment at [CofA@King.ca](mailto:CofA@King.ca)

Please provide a copy of the Committee's Decision with respect to :

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Postal Code: \_\_\_\_\_

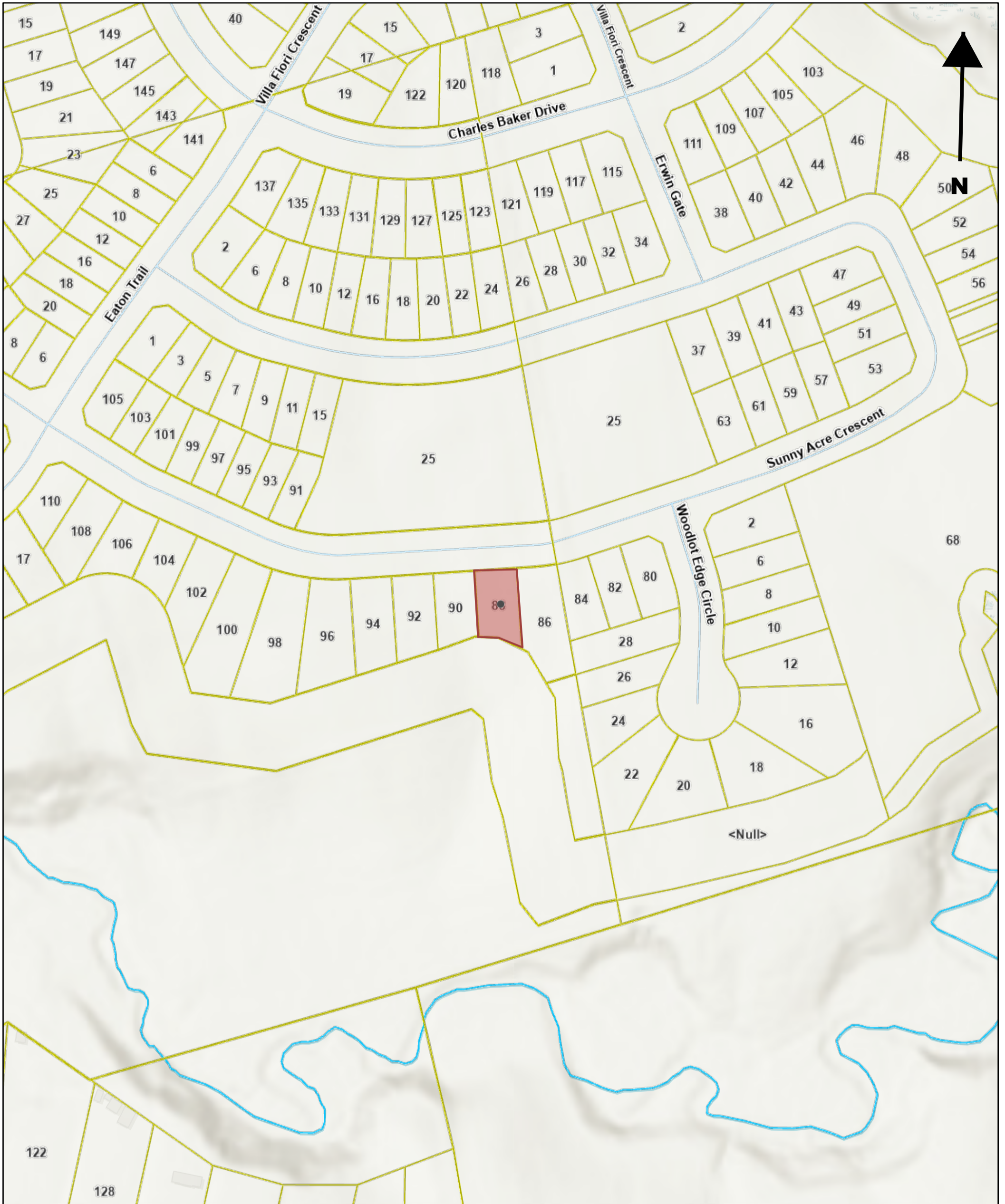
Phone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_



Date Request Submitted: \_\_\_\_\_

\*Please print and ensure form is legible

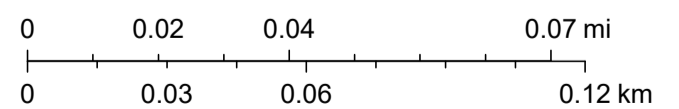
# A-24-49: Location Map



2024-10-23, 2:20:52 p.m.

-  Override 1
-  Parcel Fabric

1:2,257



Esri Community Maps Contributors, Province of Ontario, York Region, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCAN, Parks Canada, Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA,



King Township  
2585 King Road  
King City, Ontario  
Canada L7B 1A1

Phone: 905.833.5321  
Fax: 905.833.2300  
Website: www.king.ca

**APPLICATION FOR MINOR VARIANCE  
TO THE COMMITTEE OF ADJUSTMENT**

The undersigned hereby applies to the Township of King Committee of Adjustment under Section 45 of the Planning Act, 1990, as amended, for relief, as described in this application, from By-law Number 74-53, as amended.

1. NAME

(a) Registered Owner(s): SCOULI DEVELOPMENTS (BT) INC.  
Address: c/o TREASURE HILL  
[REDACTED]  
Telephone Number: [REDACTED]  
Fax Number: \_\_\_\_\_  
E-Mail Address: [REDACTED]

(b) Authorized Agent: STEVEN MCINTYRE  
Firm (if applicable): MALONE GIVEN PARSONS LTD.  
Address: [REDACTED]  
[REDACTED]  
Telephone Number: [REDACTED]  
Fax Number: \_\_\_\_\_  
E-Mail Address: [REDACTED]

(c) Name of Mortgagees,  
Holders, Charges, or  
Other Encumbrancers: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Telephone Number: \_\_\_\_\_

**NB: Please include postal code with address.**

(d) Check the name(s) of whom correspondence should be addressed:  
Owner: \_\_\_\_\_  Agent: \_\_\_\_\_



2. PROPERTY DESCRIPTION

(a) Township Lot(s) or Part Lot(s) PART LOT 8 Concession 3  
Reference Plan Number \_\_\_\_\_ Part(s) Number \_\_\_\_\_  
Registered Plan Number 65M-4797 Lot 24  
Street & Street Number 88 SUNNY ACRE CRESCENT  
(If applicable)  
Assessment Roll Number: 1949.000.\_\_\_\_\_.\_\_\_\_\_

(b) Dimensions of Entire property (metric):  
Area 608.56m2 Frontage 18.90m Depth 31.27m

3. TYPE OF APPLICATION (Please indicate)

- (a) Minor Variance to the Zoning By-law  
(Answer Questions 4-6 and 10-21)
- (b) Permission for Enlargement/Expansion of a non-conforming use  
(Answer Questions 6-8 and 10-21)
- (c) Permission for a change of a non-conforming use  
(Answer Questions 6, 7 and 9-21)

4. IF MINOR VARIANCE: Explain nature and extent of relief applied for:

TO INCREASE MAXIMUM DECK ENCROACHMENT FROM 2.4m TO 3.6m  
THE PROPOSED HOME MEETS ALL OTHER BY-LAW STANDARDS.  
\_\_\_\_\_  
\_\_\_\_\_

5. IF MINOR VARIANCE: Explain why it is not possible to comply with the provisions of the by-law:

The optional covered porch offered by the builder is located off the kitchen and was designed for deeper lots than Lot 24.  
The porch and its eaves are 3.6m deep or just under 12' while the permitted depth would be 2.4m or just under 8' deep, which is not a sufficient depth for usable outdoor space on such a large lot.  
The lot depth is irregular and the porch is located at the narrowest point at the centre of the lot.  
\_\_\_\_\_

6. EXISTING use(s) of subject property:

VACANT FORMER AGRICULTURAL LAND WITHIN AN APPROVED SUBDIVISION PLAN THAT IS CURRENTLY UNDER CONSTRUCTION.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



7. EXISTING uses of abutting properties:

North: Vacant - Future Sunny Acre Crescent (public road) and future public park  
 South: Open space / valleyland to be conveyed to public ownership  
 East: Vacant - Approved future residential lot  
 West: Vacant - Approved future residential lot

8. IF THE ENLARGEMENT/EXPANSION OF A NON-CONFORMING USE: Explain current use(s) of subject property; length of time existing uses have continued and how use(s) are to be enlarged or expanded:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

9. IF PERMISSION FOR A CHANGE OF NON-CONFORMING USE: Explain current use(s) of subject property; length of time existing use(s) have continued, and proposed use(s):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**FOLLOWING QUESTIONS TO BE COMPLETED FOR ALL APPLICATIONS**

10. PARTICULARS of all buildings and structures on or proposed for the subject land in **METRIC**.

Requirements	Existing Structures			Proposed Structures		
	1	2	3	1	2	3
<b>Structure Type</b>				SINGLE DETACHED		
Ground Floor Area				183.1m <sup>2</sup>		
Gross Floor Area				379.4m <sup>2</sup>		
Number of Storeys				2		
Length				17.02m		
Width				15.80m		
Height				10.15m		



11. LOCATION of all buildings and structures on or proposed for the subject land in **METRIC**.

Requirements	Existing Structures			Proposed Structures		
	1	2	3	1	2	3
<b>Structure Type</b>				SINGLE DETACHED		
Distance From:						
Front Lot Line				6.05m		
Side Lot Line				1.55m		
Other Side Lot Line				1.55m		
Rear Lot Line				7.55m		

12. DATE of construction of all buildings and structures on subject land:

FIRST TENTATIVE CLOSING DATE SET FOR APPROXIMATELY MARCH 6 2025

\_\_\_\_\_

\_\_\_\_\_

13. DATE of acquisition of subject land: 2017

14. RESTRICTIONS on the land:

Please indicate the nature of any easements or restrictive covenants affecting the subject lands.

WITHIN AN APPROVED SUBDIVISION PLAN WITH REGISTRATION. ZONED R1A-K3 (H)

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

15. SERVICES available: (check appropriate spaces):

- (a) Water Supply: Municipal Water  Private Well
- (b) Sewage Disposal: Municipal  Private  Other
- (c) Road Access: Township  Regional  Provincial  Private
- (d) Street Name SUNNY ACRE CRESCENT  
 (Is the driveway access gated?) Yes  No

16. GREENBELT AREA:

- Protected Countryside  Town & Village
- Hamlet  Oak Ridges Moraine Area

17. REGIONAL Municipality of York Official Plan Designation:

- Town & Village  Rural Policy Area
- Agricultural Policy Area  Holland Marsh Area



King Township  
2585 King Road  
King City, Ontario  
Canada L7B 1A1

Phone: 905.833.5321  
Fax: 905.833.2300  
Website: www.king.ca

18. PRESENT Official Plan provisions applying to the land:  
 Document: TOWNSHIP OF KING OFFICIAL PLAN 2019  
 Designation: NEIGHBOURHOOD, SPECIAL POLICY AREA V-SSPA-1  
 Applicable Sections: \_\_\_\_\_
19. PRESENT Zoning By-law provisions applying to the land:  
2019-076 ZONED R1A-K3 (H) - SEC 13. vi)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
20. HAS the owner previously applied for relief in respect of the subject property?  
 Yes  \_\_\_\_\_ No \_\_\_\_\_  
 If the answer is yes, describe briefly: Was subject to Minor Variance application A-23-80, which was a clarification  
on the conflicting garage setback requirements in the Zoning By-law for all R1A-K3 lots within the Scouli subdivision.  
This minor variance was approved November 15th 2023.
21. Is the subject property the subject of a current application under the Authority of the Planning Act,  
 1990, as amended? (Consent, Zoning Amendment, Official Plan Amendment)?  
 Yes \_\_\_\_\_ No  \_\_\_\_\_





King Township  
2585 King Road  
King City, Ontario  
Canada L7B 1A1

Phone: 905.833.5321  
Fax: 905.833.2300  
Website: www.king.ca

CERTIFICATE - (to be signed by Owner, if Agent has been appointed)

As of the date of this application, I am the registered Owner of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I concur with the submission of this application by:

STEVEN MCINTYRE \_\_\_\_\_ of MALONE GIVEN PARSONS LTD.  
who I have appointed as my Agent.

Date: JULY 24, 2024 Signed: \_\_\_\_\_  
Signature of Owner(s)

AFFIDAVIT

I, Steven McIntyre of the City of Toronto  
in the Region of \_\_\_\_\_, solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED BEFORE ME AT

The City of Markham  
in the Region of York  
this 24th day of July, 2024

\_\_\_\_\_  
Commissioner, Etc.

Steven McIntyre  
Registered Owner(s) of **Agent**

**Natalie Haley Lam**  
**a Commissioner, etc.,**  
Province of Ontario  
for **Malone Given Parsons Ltd.**  
**Expires March 31, 2025**

Personal information on this form is collected under the legal authority of the Planning Act, R.S.O. 1990, C.P.13 as amended. This information will be used to process an application for Minor Variance and Consent for the Committee of Adjustment. Information on this application and any documentation submitted in support of or in opposition, becomes the property of the Township of King. This information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to s.1.0.1 Information and material that is required to be provided to a municipality or approval authority under the Planning Act shall be made available to the public. Questions about this collection should be directed to the Secretary-Treasurer, Township of King, L7B 1A1 (905) 833-5321.



METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

# PLAN 65M-

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF YORK REGION NO. 65 AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER NO. \_\_\_\_\_ AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. \_\_\_\_\_

Representative For Land Registrar

NOTE: THIS PLAN COMPRISES ALL OF PIN 03372-0250.

**PART OF SUBDIVISION OF PART OF LOT 8 CONCESSION 3**  
(GEOGRAPHIC TOWNSHIP OF KING, COUNTY OF YORK)  
**TOWNSHIP OF KING**  
REGIONAL MUNICIPALITY OF YORK  
SCALE 1:1000

SCHAEFFER DZALDOV PURCELL LTD.

- NOTES**
- DENOTES PLANTED IRON BAR
  - DENOTES FOUND MONUMENT
  - DENOTES FOUND STANDARD IRON BAR
  - ▬ DENOTES STANDARD IRON BAR
  - ▬ DENOTES IRON BAR
  - ▬ DENOTES PLASTIC BAR
  - P1 DENOTES PLAN 65R-37165
  - P2 DENOTES PLAN 65R-3485
  - P3 DENOTES REGISTERED PLAN 65M-2283
  - P4 DENOTES PLAN 65R-17048
  - P5 DENOTES REGISTERED PLAN 65M-2283
  - M DENOTES MEASURED
  - OU DENOTES ORIGIN UNKNOWN
  - PRC DENOTES POINT OF REVERSE CURVE
  - S1 DENOTES SET SSB IN SITE OF SIB(1370), FOUND JULY 27, 2021
  - S1760 DENOTES K.H. MCCONNELL, O.L.S.
  - S1370 DENOTES KRDMAR SURVEYORS LTD.
  - S1160 DENOTES R.N. CLARK, O.L.S.
  - S1160 DENOTES LLOYD & PURCELL LTD.
  - S22 DENOTES SCHAEFFER DZALDOV PURCELL LTD.
  - S1 DENOTES REPLACED WITH SSB
  - W DENOTES WITNESS
  - CLF DENOTES CHAIN LINK FENCE

ALL FOUND MONUMENTS ARE NUMBERED 922 UNLESS NOTED OTHERWISE. NOTE: ALL 0.30 RESERVES HAVE BEEN EXAGGERATED FOR CLARITY.

TOTAL AREA OF SUBDIVISION = 21.8107 ha.

BEARINGS ARE UTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS 10519980110 AND 10519980111, UTM ZONE 17, NAD83 (ORIGINAL).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999729.

POINT ID.	NORTHING	EASTING
SCP 10519980110	4863084.212	618805.949
SCP 10519980111	4863586.492	620366.480

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

### OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:  
1. LOTS 1 TO 97, BOTH INCLUSIVE, BLOCKS 98 TO 121, BOTH INCLUSIVE, STREETS, NAMELY EATON TRAIL (BOTH PORTIONS), BUD WILLMOT WAY, SHADYRIDGE STREET, SUNNY ACRES CRESCENT (BOTH PORTIONS), AND CHARLES BAKER DRIVE, AND 0.30 RESERVES, NAMELY BLOCKS 122 TO 129, BOTH INCLUSIVE, HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.  
2. THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE TOWNSHIP OF KING AS PUBLIC HIGHWAYS.

DATED THE 10<sup>TH</sup> DAY OF FEBRUARY, 2022.  
SCOLI DEVELOPMENTS (BT) INC.

NICHOLAS FIDEI - A.S.O.  
'I HAVE THE AUTHORITY TO BIND THE CORPORATION'

### SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 2ND DAY OF FEBRUARY, 2022.

DATE: FEBRUARY 10, 2022. DAN DZALDOV  
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER 2153620

APPROVED UNDER SECTION 51 OF THE PLANNING ACT R.S.O. 1990, DATED THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

19T-06K08

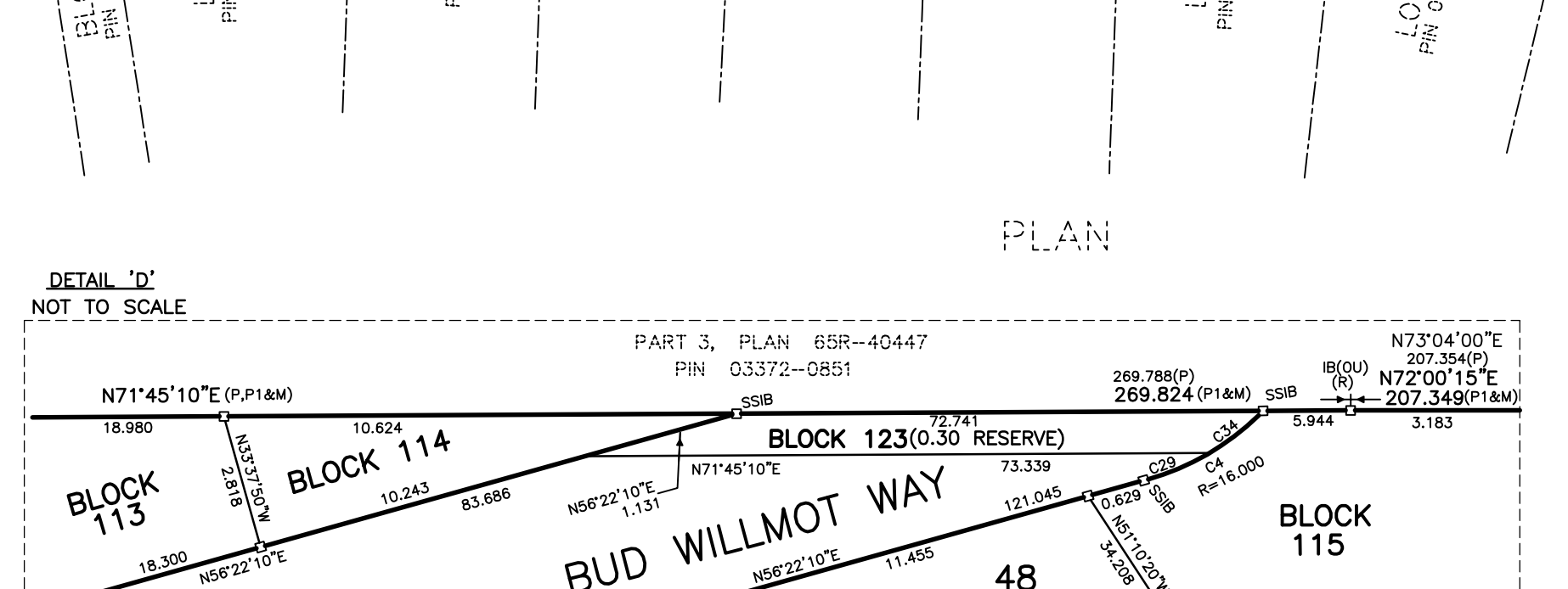
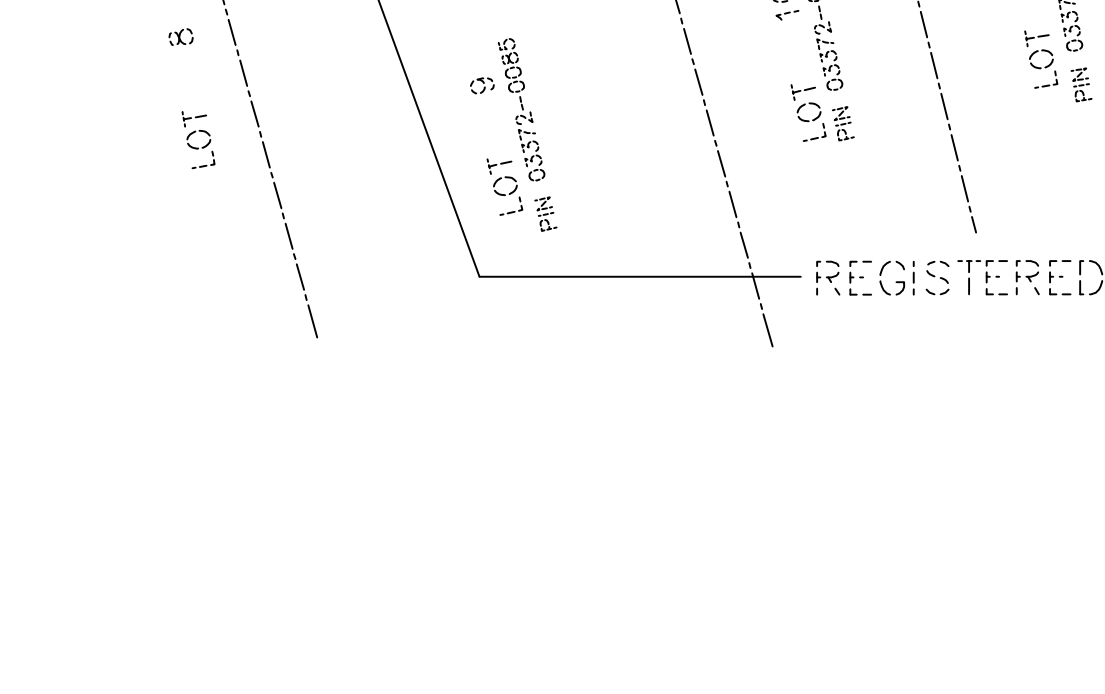
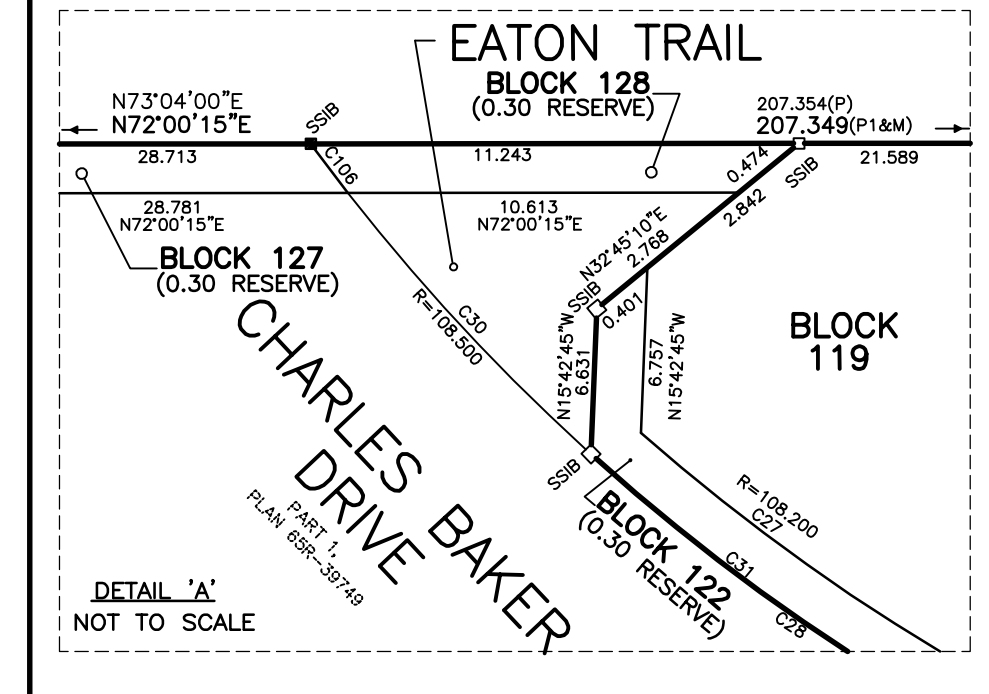
**SCHAEFFER DZALDOV PURCELL LTD.**  
ONTARIO LAND SURVEYORS  
64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL:(416)987-0101  
CALC. SL DRAWN ACAD/LW CHECKED WMF SCALE 1:1000 JOB NO. 19-510-00F  
PLOT SIZE : 24X45 MAY 30, 2023

**CURVE TABLE**

NUM	ARC	RADIUS	BEARING	CHORD
C1	49.833	18.750	N39°02'50"E	36.408
C2	15.488	14.250	N39°02'50"E	14.738
C3	10.103	10.000	N41°24'30"E	9.679
C4	4.763	16.000	N47°50'30"E	4.745
C5	32.179	90.000	N83°09'05"E	32.018
C6	25.028	70.000	N83°09'05"E	24.895
C7	22.929	70.000	N82°17'30"E	22.827
C8	2.098	70.000	N72°32'05"E	2.099
C9	14.053	90.000	N68°55'15"E	14.039
C10	10.930	70.000	N68°55'15"E	10.919
C11	33.006	57.000	N47°50'30"E	32.547
C12	1.647	57.000	N63°37'10"E	1.647
C13	23.710	57.000	N65°02'30"E	23.589
C14	7.649	57.000	N59°06'55"E	7.644
C15	44.587	77.000	N47°50'30"E	43.967
C16	10.317	77.000	N62°38'05"E	10.310
C17	19.095	77.000	N49°39'55"E	19.046
C18	15.175	77.000	N36°54'55"E	15.150
C19	5.281	70.000	N33°23'55"E	5.280
C20	3.568	70.000	N32°43'50"E	3.568
C21	1.713	70.000	N34°53'30"E	1.713
C22	6.790	90.000	N33°23'55"E	6.788
C23	1.567	90.000	N31°46'10"E	1.567
C24	5.223	90.000	N33°50'50"E	5.223
C25	5.666	70.000	N33°16'25"E	5.664
C26	7.285	90.000	N33°16'25"E	7.283
C27	31.567	108.200	N73°50'40"W	31.456
C28	91.592	108.200	N73°50'40"W	88.897
C29	4.187	16.000	N48°52'20"E	4.175
C30	11.732	108.500	N62°24'00"W	11.729
C31	31.473	108.500	N71°40'40"W	31.566
C32	29.999	108.500	N89°11'15"E	29.904
C33	11.478	108.500	N71°40'40"W	11.467
C34	0.576	16.000	N40°20'40"E	0.576
C35	127.372	131.500	N78°44'35"W	122.451
C36	12.448	131.500	N78°44'35"W	12.443
C37	12.805	131.500	N81°38'00"E	12.800
C38	11.953	131.500	N87°01'40"E	11.949
C39	12.246	131.500	N87°02'05"E	12.241
C40	12.318	131.500	N82°21'00"W	12.313
C41	12.174	131.500	N77°00'50"W	12.170
C42	11.651	131.500	N82°21'00"W	11.647
C43	11.660	131.500	N66°44'45"W	11.656
C44	30.026	131.500	N79°39'50"W	29.961
C45	0.651	131.500	N62°58'50"W	0.651
C46	27.533	70.000	N65°40'30"W	27.356
C47	17.089	70.000	N61°24'05"W	17.047
C48	10.444	70.000	N72°40'10"W	10.444
C49	35.400	90.000	N65°40'30"W	35.172
C50	8.161	90.000	N67°00'20"W	8.158
C51	12.011	90.000	N65°40'30"W	12.002
C52	12.011	90.000	N71°04'20"W	12.002
C53	3.217	90.000	N67°00'20"W	3.217
C54	88.015	160.000	N87°17'50"E	86.909
C55	10.082	160.000	N78°44'55"W	10.081
C56	77.832	160.000	N85°29'20"E	77.164
C57	77.013	140.000	N87°17'50"E	76.045
C58	8.547	140.000	N78°44'55"W	8.546
C59	15.728	140.000	N85°29'20"E	15.721
C60	15.729	140.000	N89°54'10"E	15.721
C61	15.159	140.000	N83°34'55"E	15.152
C62	12.830	140.000	N72°11'05"E	12.826
C63	9.019	140.000	N73°23'00"E	9.017
C64	8.530	70.000	N81°40'40"E	8.525
C65	8.230	70.000	N81°30'00"E	8.228
C66	0.300	70.000	N78°23'35"E	0.300
C67	10.700	90.000	N81°50'45"E	10.694
C68	10.400	90.000	N81°50'45"E	10.394
C69	0.300	90.000	N78°32'10"E	0.300
C70	44.502	90.000	N80°34'55"W	44.500
C71	17.121	90.000	N81°50'45"E	17.095
C72	17.747	90.000	N78°12'00"W	17.719
C73	9.634	90.000	N82°00'00"W	9.629
C74	34.613	70.000	N82°34'55"W	34.261
C75	23.356	70.000	N85°11'20"W	23.247
C76	11.257	70.000	N81°12'20"W	11.245
C77	9.392	70.000	N62°34'25"W	9.385
C78	12.075	90.000	N62°34'25"W	12.066
C79	9.506	90.000	N62°33'30"W	9.501
C80	2.570	90.000	N59°52'50"W	2.570
C81	52.756	30.000	N67°59'25"W	46.216
C82	6.212	30.000	N62°33'25"W	6.201
C83	20.213	30.000	N48°46'40"W	19.832
C84	26.331	30.000	N80°46'35"E	25.494
C85	30.644	70.000	N41°10'50"W	30.419
C86	6.870	70.000	N38°26'35"W	6.867
C87	17.103	70.000	N46°15'10"W	17.080
C88	6.691	70.000	N52°50'50"W	6.689
C89	39.425	90.000	N46°10'50"W	39.111
C90	16.452	90.000	N38°57'50"W	16.440
C91	13.942	90.000	N44°26'10"W	13.931
C92	13.346	90.000	N52°50'10"W	13.334
C93	2.585	90.000	N67°54'25"W	2.585
C94	12.690	90.000	N29°35'50"W	12.679
C95	9.709	90.000	N30°32'25"W	9.705
C96	2.880	90.000	N44°10'50"W	2.880
C97	9.870	70.000	N29°35'50"W	9.862
C98	8.872	70.000	N30°00'00"W	8.866
C99	0.998	70.000	N25°47'40"W	0.998
C100	25.133	16.000	N11°22'10"E	22.627
C101	11.052	16.000	N13°50'35"W	10.834
C102	14.081	16.000	N25°58'05"W	13.631
C103	7.280	16.000	N25°58'05"W	7.235
C104	42.553	16.750	N50°10'15"E	33.991
C105	0.357	131.500	N25°50'10"W	0.357
C106	0.399	108.500	N59°11'45"W	0.399
C107	0.302	108.500	N72°15'05"E	0.302
C108	0.301	131.500	N73°02'05"E	0.301

**BLOCK AREA**

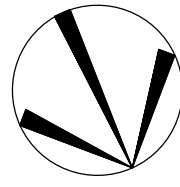
BLOCK No.	AREA (m²)
98	7534.7
99	15261.1
100	555.8
101	968.4
102	37.9
103	335.8
104	78249.4
105	12.7
106	348.5
107	1801.7
108	18142.1
109	980.4
110	391.0
111	292.7
112	189.8
113	97.6
114	14.4
115	581.9
116	351.8
117	116.7
118	528.6
119	618.6
120	199.2
121	263.9





NOTES :-

- DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS, THE BUILDERS MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.
- BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
- BUILDER TO VERIFY SERVICE CONNECTION ELEVATION PRIOR TO CONSTRUCTING FOUNDATIONS. THE AS-CONSTRUCTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.
- BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.
- EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- WHERE SLOPES EXCEED 5%, 3:1 SLOPES SHALL BE USED TO MAKE UP DIFFERENCE. 4:1 SLOPES SHALL BE USED IF HEIGHT DIFFERENCE EXCEEDS 1.0m.
- ALL ROOF DRAINS SHALL DISCHARGE ONTO SPLASH PADS OR GRASSED AREAS WHERE RDC COLLECTOR IS NOT PROVIDED.
- ALL LOTS TO HAVE MINIMUM 200mm TOPSOIL AND SOD.
- SWALE DEPTH TO BE ACCORDING TO FLOW - MINIMUM 150mm. MAXIMUM SWALE LENGTH SHALL BE 90m.
- MIN. 50% OF ROOF DOWNSPOUTS SHOULD DRAIN TO FRONT YARD ON ALL SPLIT DRAINING LOTS AND WALKOUT LOTS BACKING ONTO ANOTHER LOT.
- RETAINING WALLS TO BE DESIGNED AND SEALED BY A STRUCTURAL ENGINEER. CONSTRUCTION OF THESE WALLS SHALL BE INSPECTED AND CERTIFIED BY A STRUCTURAL ENGINEER AND A GEOTECHNICAL ENGINEER. THE DESIGN OF THE RETAINING WALLS, AND RETAINING WALLS AND FENCE COMBINATION ARE TO BE COORDINATED BY SABOURIN KIMBLE AND ASSOCIATES (SKA). SKA WILL BE RESPONSIBLE FOR COORDINATING CONSTRUCTION, ENSURING THAT PROPER INSPECTIONS ARE CARRIED OUT AND PROVIDING FINAL CERTIFICATION THAT THE WALLS HAVE BEEN CONSTRUCTED AS PER THE DESIGN.
- CLEAR STONE (19mm GRADATION) AT A MINIMUM DEPTH OF 100mm SHALL BE PLACED IN SIDE YARD AREAS BETWEEN HOUSES AND DISTANCE LESS THAN 2.6m INSTEAD OF SOD.
- A TRANSITION RUN-OUT AREA TO DRAIN THE SUB-GRADE SHALL BE PROVIDED AT THE CLEAR STONE/SOD INTERFACE.
- WHERE FENCE IS BETWEEN PRIVATE AND PUBLIC LANDS, 1.8m HIGH CHAIN LINK FENCE WITH 9 GAUGE WIRE AND NO LARGER THAN 37mm OPENING IS REQUIRED. THE POSTS ARE TO BE ON PRIVATE SIDE, INCLUDING THE FOOTINGS, AND THE MESH IS TO BE ON THE PUBLIC SIDE



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	65M-
ZONE	R1A-K3
LOT NUMBER	LOT 24
LOT AREA(m) <sup>2</sup>	608.56
BLDG AREA(m) <sup>2</sup>	240.18
LOT COVERAGE(%)	39.47
No. OF STOREYS	2
MEAN HEIGHT(m)	10.15
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND			
FFE	FINISHED FLOOR ELEVATION	☒	SUMP PUMP
TFS	TOP OF FOUNDATION WALL	☒	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	☒	CABLE PEDESTAL
USF	UNDER SIDE FOOTING	☒	CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	☒	DBL. CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE	☒	ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL	☒	HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	☒	FIRE HYDRANT
WOD	WALKOUT DECK	☒	STREET LIGHT
LOB	LOOKOUT BASEMENT	☒	MAIL BOX
WOB	WALK OUT BASEMENT	☒	TRANSFORMER
WUB	WALK UP BASEMENT	☒	SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN	☒	SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN	☒	WATER CONNECTION
△	DOOR	☒	WATER VALVE CHAMBER
○	WINDOW	☒	HYDRANT AND VALVE
AC	AIR CONDITIONING	☒	HYDRO METER
DS	DOWN SPOUT TO SPLASH PAD	☒	GAS METER
DS	DOWN SPOUT CONNECTED TO STM	☒	MANHOLE - STORM
→	SWALE DIRECTION	☒	MANHOLE - SANITARY
-X-	CHAINLINK FENCE		
-XX-	PRIVACY FENCE		
-XXX-	SOUND BARRIER		
- - -	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE		

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	21-JULY-23	PP	RP
2	ISSUED FINAL	05-AUG-23	PP	NC
3	REVISED PER CITY COMM - FINAL	23-NOV-23	PP	NC
4	ISSUED FINAL	05-DEC-23	PP	NC

**SKA SABOURIN KIMBLE & ASSOCIATES LTD. CONSULTING ENGINEERS**

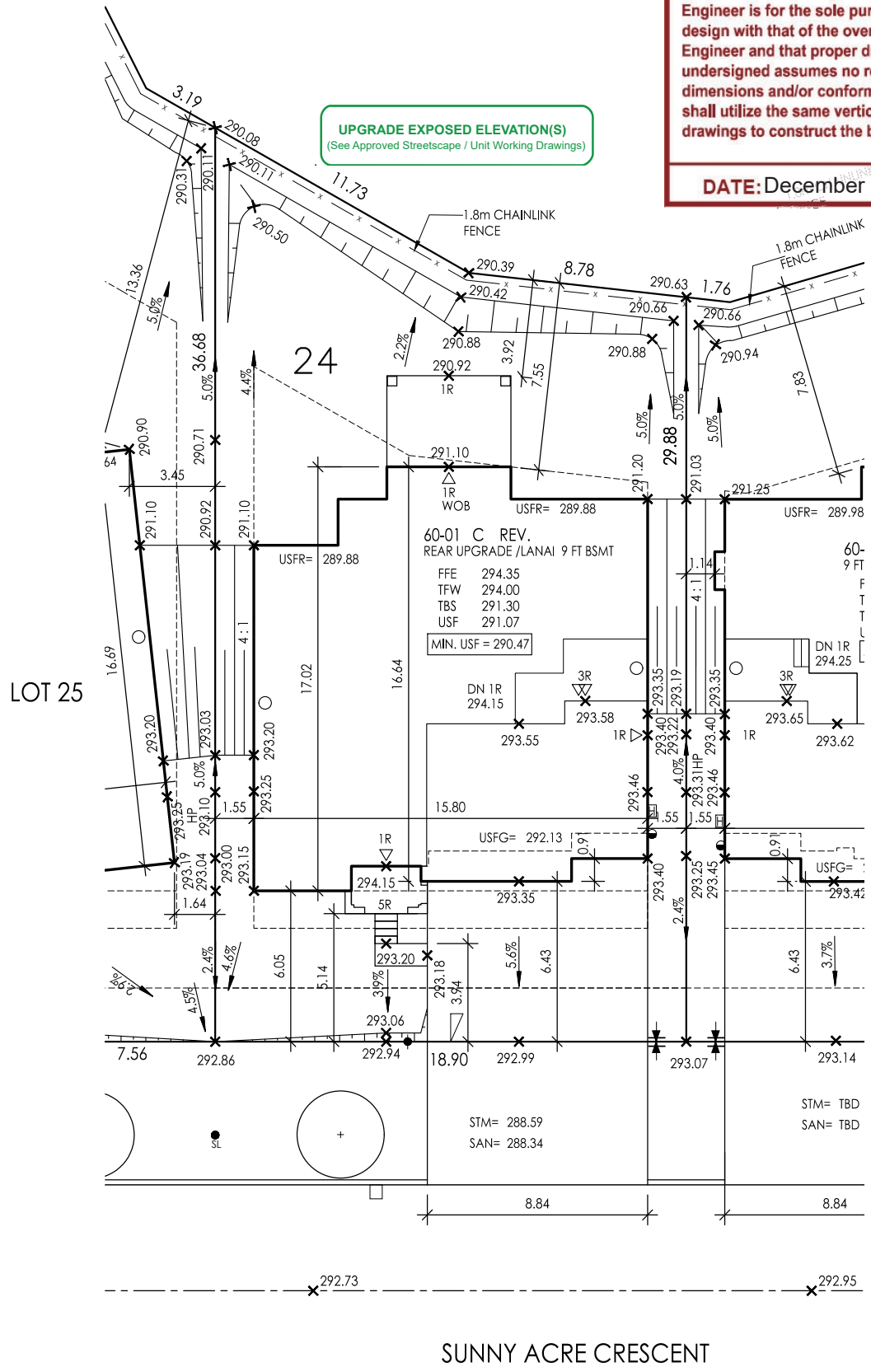
**LOT GRADING REVIEW**

**LOT(S) 24**

REVIEWED  
 REVIEWED AND MODIFIED AS NOTED  
 REVISE AND RE-SUBMIT FOR REVIEW

The review of the lot grading design of the above noted lot(s) by the Consulting Engineer is for the sole purpose of ascertaining general conformance of the design with that of the overall lot grading design as prepared by the Consulting Engineer and that proper drainage principles have been observed. The undersigned assumes no responsibility for the correctness of building dimensions and/or conformity to any applicable zoning by-laws. The builder shall utilize the same vertical control datum as noted on the engineering drawings to construct the building units and lot grading.

DATE: December 1, 2023 BY: *V. Lavigne*



MUNICIPAL ADDRESS:-  
88 SUNNY ACRE CRESCENT

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*  
DATE: DEC 05, 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

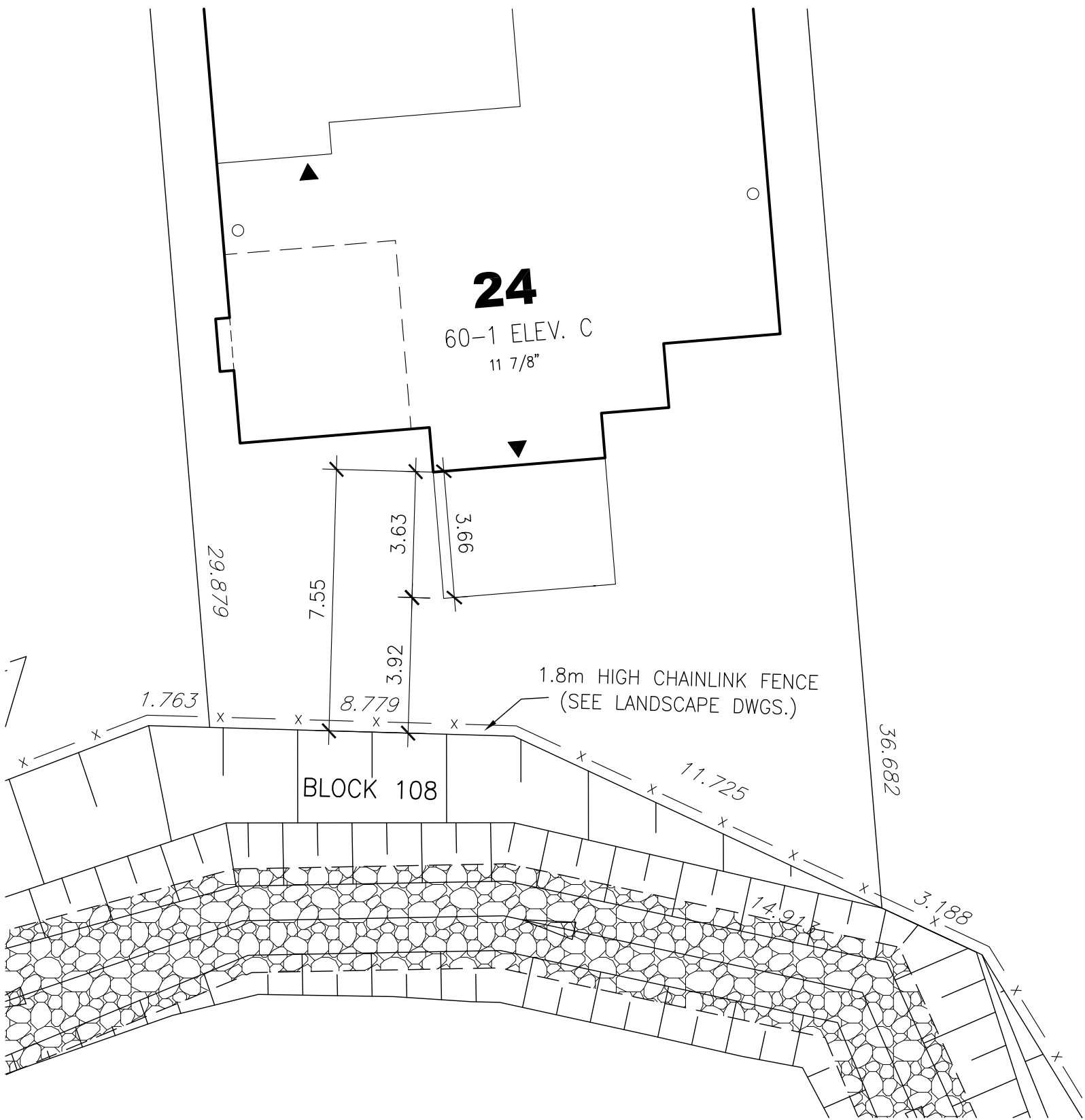
**IMPORTANT! FOOTING NOTE:**  
-IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.  
-LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".  
-IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:  
- UP TO 9" FOOTING, LOWER USF BY 0.07  
- 10" FOOTING, LOWER USF BY 0.10  
- 11" FOOTING, LOWER USF BY 0.13  
- 12" FOOTING, LOWER USF BY 0.15  
- 13" FOOTING, LOWER USF BY 0.18  
- 14" FOOTING, LOWER USF BY 0.20

**RN DESIGN** WWW.RNDESIGN.COM  
T:905-738-3177  
WWW.THEPLUSGROUP.CA

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032  
FIRM BCIN: 26995  
DATE: **DEC-5-2023**  
SIGNATURE: *[Signature]*

CLIENT <b>TREASURE HILL HOMES</b>	
PROJECT/LOCATION <b>SCOULI KING CITY, ONTARIO</b>	
DRAWING <b>SITE PLAN</b>	
DRAWN BY PP	SCALE 1:250
PROJECT No. 19038	LOT NUMBER LOT 24





I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE DESIGN TEAM UNDER DIVISION C.P.A. REG. NO. 20322.4 OF THE BUILDING CODE, I AM QUALIFIED AND HAVE THE REQUIRED REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032  
FIRM BCIN: 26995  
DATE: D40UT

SIGNATURE:

#	ISSUED FOR CLIENT REVIEW	revisions	date	dwn	chk
A0		THE SHEET			
A1		BASEMENT FLOOR PLAN			
A2		GROUND FLOOR PLAN			
A3		STAIR LANDING DETAIL			
A4		FLOOR FINISH PLAN REV 'A'			
A5		FLOOR FINISH PLAN REV 'B'			
A6		FLOOR FINISH PLAN REV 'C'			
A7		FLOOR FINISH PLAN REV 'D'			
A8		FLOOR FINISH PLAN REV 'E'			
A9		FLOOR FINISH PLAN REV 'F'			
A10		FLOOR FINISH PLAN REV 'G'			
A11		FLOOR FINISH PLAN REV 'H'			
A12		FLOOR FINISH PLAN REV 'I'			
A13		FLOOR FINISH PLAN REV 'J'			
A14		FLOOR FINISH PLAN REV 'K'			
A15		FLOOR FINISH PLAN REV 'L'			
A16		FLOOR FINISH PLAN REV 'M'			
A17		FLOOR FINISH PLAN REV 'N'			
A18		FLOOR FINISH PLAN REV 'O'			
A19		FLOOR FINISH PLAN REV 'P'			
A20		FLOOR FINISH PLAN REV 'Q'			
A21		FLOOR FINISH PLAN REV 'R'			
A22		FLOOR FINISH PLAN REV 'S'			
A23		FLOOR FINISH PLAN REV 'T'			
A24		FLOOR FINISH PLAN REV 'U'			
A25		FLOOR FINISH PLAN REV 'V'			
A26		FLOOR FINISH PLAN REV 'W'			
A27		FLOOR FINISH PLAN REV 'X'			
A28		FLOOR FINISH PLAN REV 'Y'			
A29		FLOOR FINISH PLAN REV 'Z'			
A30		FLOOR FINISH PLAN REV 'AA'			
A31		FLOOR FINISH PLAN REV 'AB'			
A32		FLOOR FINISH PLAN REV 'AC'			
A33		FLOOR FINISH PLAN REV 'AD'			
A34		FLOOR FINISH PLAN REV 'AE'			
A35		FLOOR FINISH PLAN REV 'AF'			
A36		FLOOR FINISH PLAN REV 'AG'			
A37		FLOOR FINISH PLAN REV 'AH'			
A38		FLOOR FINISH PLAN REV 'AI'			
A39		FLOOR FINISH PLAN REV 'AJ'			
A40		FLOOR FINISH PLAN REV 'AK'			
A41		FLOOR FINISH PLAN REV 'AL'			
A42		FLOOR FINISH PLAN REV 'AM'			

#	ISSUED FOR CLIENT REVIEW	revisions	date	dwn	chk
1			Aug 23	SFB	NC

project	client	location
project	Treasure Hill Home Corp.	King City
model		60-1
project #		19038
scale		3/16" = 1'-0"
page		

#	REVISION	DATE	BY	CHK
1	CONSTRUCTION PACKAGE A1 - OBC 2012 - 2022 ENACTMENT			
2	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
3	FRAME WALL CONSTRUCTION			
4	DRAINAGE TILE OR PIPE			
5	BASEMENT SLAB			
6	SLAB ON GROUND			
7	PLASTER			
8	STAIR STEEL COLUMN			
9	WOOD COLUMN			
10	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
11	FOUNDATION WALL			
12	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
13	FRAME WALL CONSTRUCTION			
14	DRAINAGE TILE OR PIPE			
15	BASEMENT SLAB			
16	SLAB ON GROUND			
17	PLASTER			
18	STAIR STEEL COLUMN			
19	WOOD COLUMN			
20	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
21	FOUNDATION WALL			
22	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
23	FRAME WALL CONSTRUCTION			
24	DRAINAGE TILE OR PIPE			
25	BASEMENT SLAB			
26	SLAB ON GROUND			
27	PLASTER			
28	STAIR STEEL COLUMN			
29	WOOD COLUMN			
30	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
31	FOUNDATION WALL			
32	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
33	FRAME WALL CONSTRUCTION			
34	DRAINAGE TILE OR PIPE			
35	BASEMENT SLAB			
36	SLAB ON GROUND			
37	PLASTER			
38	STAIR STEEL COLUMN			
39	WOOD COLUMN			
40	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
41	FOUNDATION WALL			
42	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
43	FRAME WALL CONSTRUCTION			
44	DRAINAGE TILE OR PIPE			
45	BASEMENT SLAB			
46	SLAB ON GROUND			
47	PLASTER			
48	STAIR STEEL COLUMN			
49	WOOD COLUMN			
50	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
51	FOUNDATION WALL			
52	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
53	FRAME WALL CONSTRUCTION			
54	DRAINAGE TILE OR PIPE			
55	BASEMENT SLAB			
56	SLAB ON GROUND			
57	PLASTER			
58	STAIR STEEL COLUMN			
59	WOOD COLUMN			
60	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
61	FOUNDATION WALL			
62	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
63	FRAME WALL CONSTRUCTION			
64	DRAINAGE TILE OR PIPE			
65	BASEMENT SLAB			
66	SLAB ON GROUND			
67	PLASTER			
68	STAIR STEEL COLUMN			
69	WOOD COLUMN			
70	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
71	FOUNDATION WALL			
72	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
73	FRAME WALL CONSTRUCTION			
74	DRAINAGE TILE OR PIPE			
75	BASEMENT SLAB			
76	SLAB ON GROUND			
77	PLASTER			
78	STAIR STEEL COLUMN			
79	WOOD COLUMN			
80	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
81	FOUNDATION WALL			
82	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
83	FRAME WALL CONSTRUCTION			
84	DRAINAGE TILE OR PIPE			
85	BASEMENT SLAB			
86	SLAB ON GROUND			
87	PLASTER			
88	STAIR STEEL COLUMN			
89	WOOD COLUMN			
90	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
91	FOUNDATION WALL			
92	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
93	FRAME WALL CONSTRUCTION			
94	DRAINAGE TILE OR PIPE			
95	BASEMENT SLAB			
96	SLAB ON GROUND			
97	PLASTER			
98	STAIR STEEL COLUMN			
99	WOOD COLUMN			
100	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			

#	REVISION	DATE	BY	CHK
1	CONSTRUCTION PACKAGE A1 - OBC 2012 - 2022 ENACTMENT			
2	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
3	FRAME WALL CONSTRUCTION			
4	DRAINAGE TILE OR PIPE			
5	BASEMENT SLAB			
6	SLAB ON GROUND			
7	PLASTER			
8	STAIR STEEL COLUMN			
9	WOOD COLUMN			
10	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
11	FOUNDATION WALL			
12	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
13	FRAME WALL CONSTRUCTION			
14	DRAINAGE TILE OR PIPE			
15	BASEMENT SLAB			
16	SLAB ON GROUND			
17	PLASTER			
18	STAIR STEEL COLUMN			
19	WOOD COLUMN			
20	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
21	FOUNDATION WALL			
22	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
23	FRAME WALL CONSTRUCTION			
24	DRAINAGE TILE OR PIPE			
25	BASEMENT SLAB			
26	SLAB ON GROUND			
27	PLASTER			
28	STAIR STEEL COLUMN			
29	WOOD COLUMN			
30	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
31	FOUNDATION WALL			
32	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
33	FRAME WALL CONSTRUCTION			
34	DRAINAGE TILE OR PIPE			
35	BASEMENT SLAB			
36	SLAB ON GROUND			
37	PLASTER			
38	STAIR STEEL COLUMN			
39	WOOD COLUMN			
40	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
41	FOUNDATION WALL			
42	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
43	FRAME WALL CONSTRUCTION			
44	DRAINAGE TILE OR PIPE			
45	BASEMENT SLAB			
46	SLAB ON GROUND			
47	PLASTER			
48	STAIR STEEL COLUMN			
49	WOOD COLUMN			
50	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
51	FOUNDATION WALL			
52	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
53	FRAME WALL CONSTRUCTION			
54	DRAINAGE TILE OR PIPE			
55	BASEMENT SLAB			
56	SLAB ON GROUND			
57	PLASTER			
58	STAIR STEEL COLUMN			
59	WOOD COLUMN			
60	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
61	FOUNDATION WALL			
62	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
63	FRAME WALL CONSTRUCTION			
64	DRAINAGE TILE OR PIPE			
65	BASEMENT SLAB			
66	SLAB ON GROUND			
67	PLASTER			
68	STAIR STEEL COLUMN			
69	WOOD COLUMN			
70	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
71	FOUNDATION WALL			
72	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
73	FRAME WALL CONSTRUCTION			
74	DRAINAGE TILE OR PIPE			
75	BASEMENT SLAB			
76	SLAB ON GROUND			
77	PLASTER			
78	STAIR STEEL COLUMN			
79	WOOD COLUMN			
80	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
81	FOUNDATION WALL			
82	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
83	FRAME WALL CONSTRUCTION			
84	DRAINAGE TILE OR PIPE			
85	BASEMENT SLAB			
86	SLAB ON GROUND			
87	PLASTER			
88	STAIR STEEL COLUMN			
89	WOOD COLUMN			
90	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
91	FOUNDATION WALL			
92	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
93	FRAME WALL CONSTRUCTION			
94	DRAINAGE TILE OR PIPE			
95	BASEMENT SLAB			
96	SLAB ON GROUND			
97	PLASTER			
98	STAIR STEEL COLUMN			
99	WOOD COLUMN			
100	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			

#	REVISION	DATE	BY	CHK
1	CONSTRUCTION PACKAGE A1 - OBC 2012 - 2022 ENACTMENT			
2	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
3	FRAME WALL CONSTRUCTION			
4	DRAINAGE TILE OR PIPE			
5	BASEMENT SLAB			
6	SLAB ON GROUND			
7	PLASTER			
8	STAIR STEEL COLUMN			
9	WOOD COLUMN			
10	BRICK PARTY WALL BEAM END BEARING (BEAMS & GIRDER TRUSSES)			
11	FOUNDATION WALL			
12	FOUNDATION WALLS @ UNSUPPORTED OPENINGS			
13	FRAME WALL CONSTRUCTION			
14	DRAINAGE TILE OR PIPE			
15	BASEMENT SLAB			
16	SLAB ON GROUND			
17	PLASTER			



I, NELSON CUNHA, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION 2, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

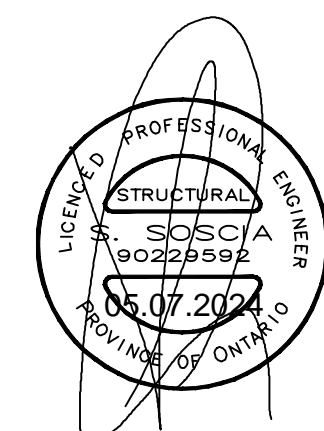
QUALIFIED DESIGNER BCIN: 21032  
FRM BCIN: 26995  
DATE: DATEOUT

SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of AURORA

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: May 14, 2024  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	4-4-2023	SFB	MC

client

Treasure Hill  
Home Corp.

project

Scouli Developments Inc.

model

60-1

project #

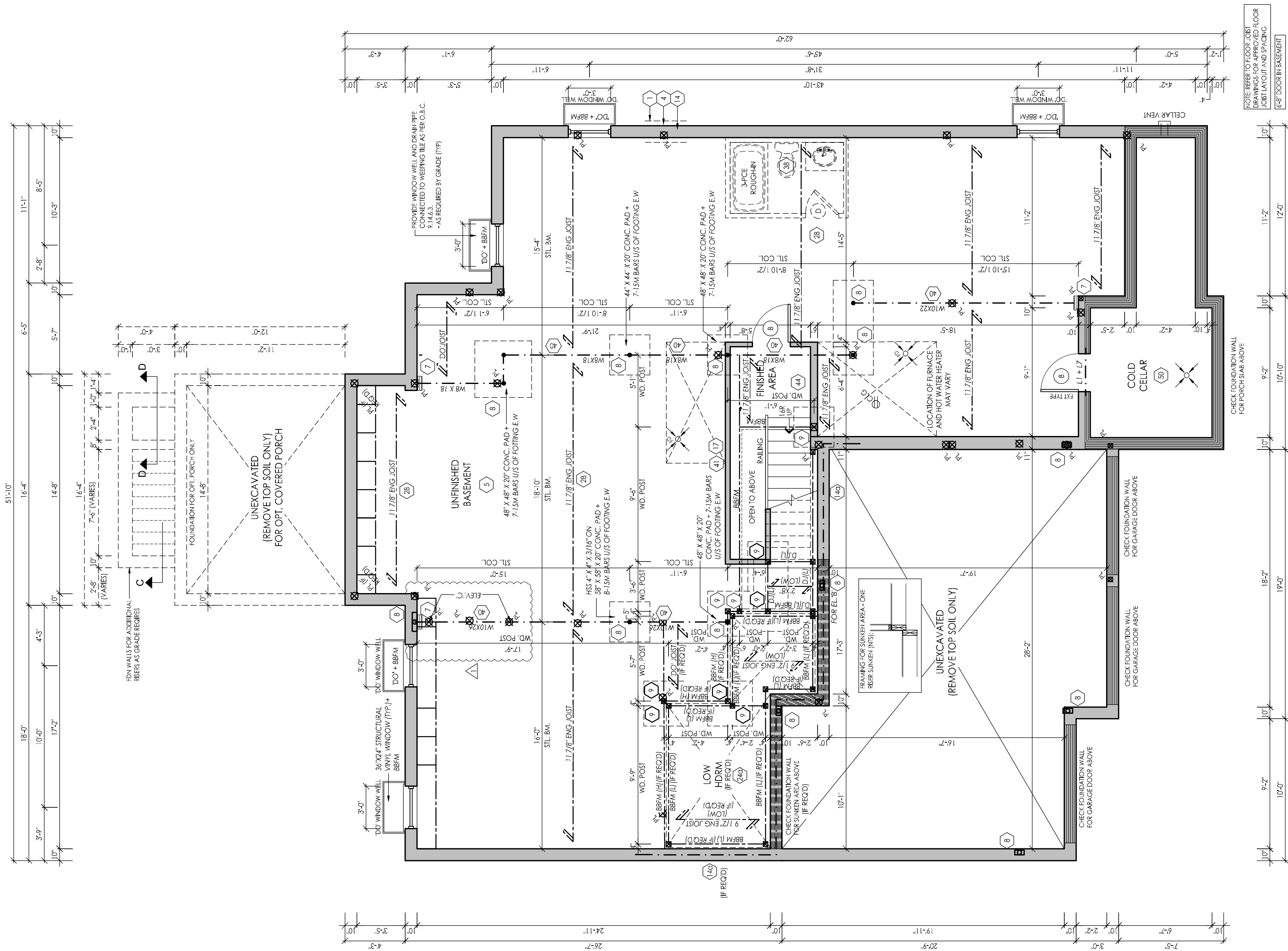
19038

scale

3/16" = 1'-0"

page

A1



NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING  
6-8" DOOR IN BASEMENT

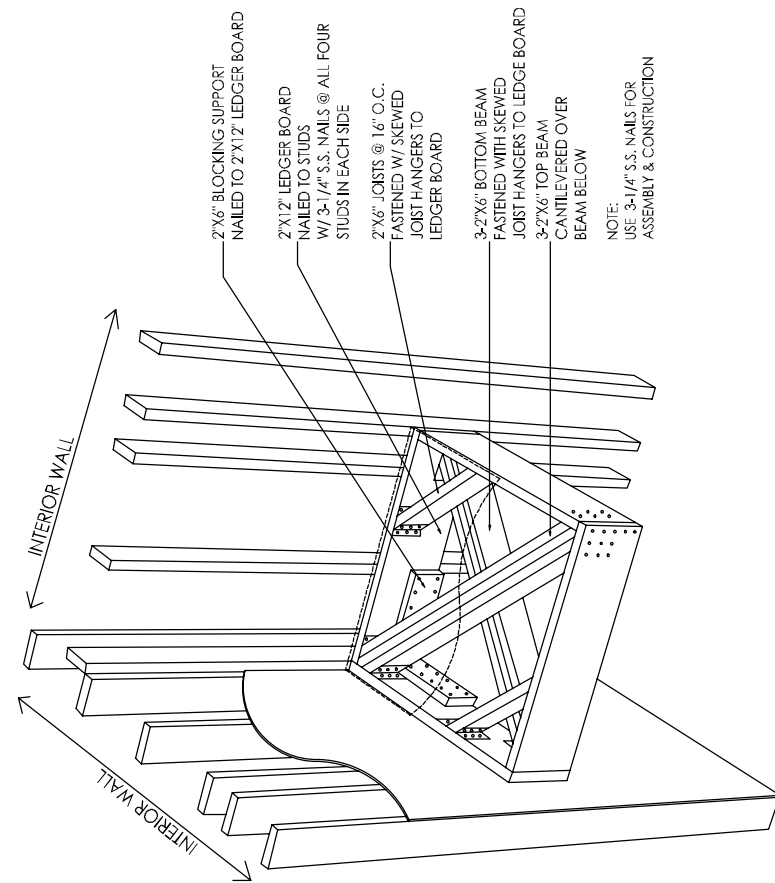
CHECK FOUNDATION WALL FOR PORCH, 3/4" ABOVE

CHECK FOUNDATION WALL FOR GARAGE DOOR ABOVE

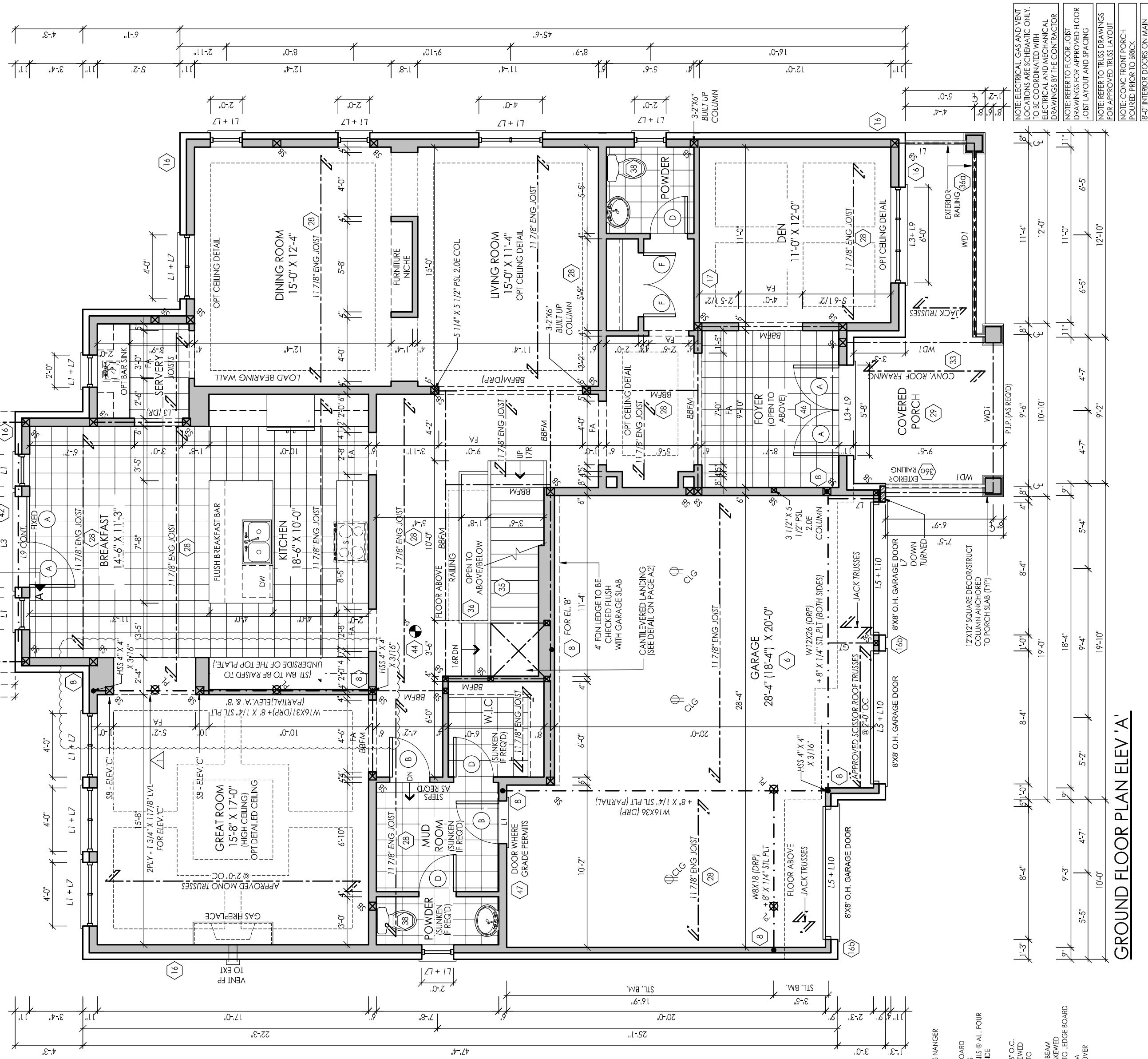
CHECK FOUNDATION WALL FOR GARAGE DOOR ABOVE

CHECK FOUNDATION WALL FOR GARAGE DOOR ABOVE

BASEMENT PLAN ELEV. 'A'

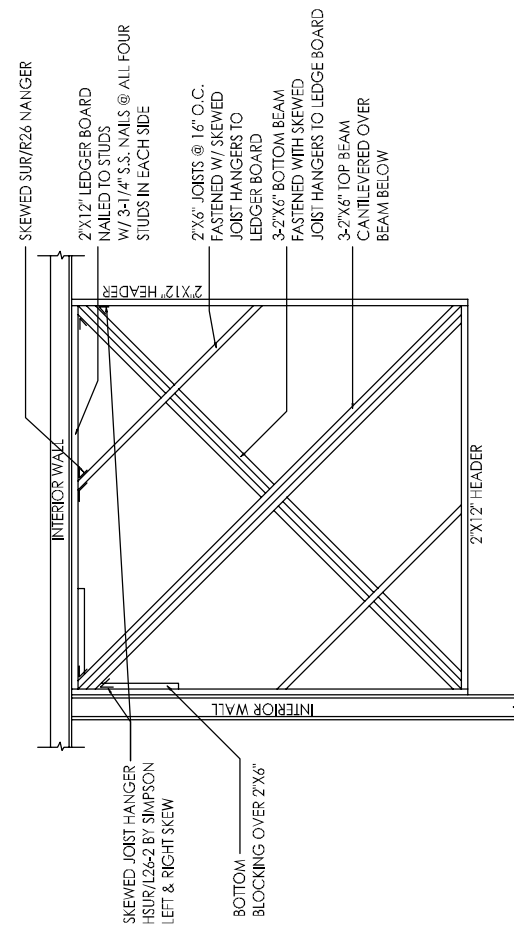


SELF SUPPORTING STAIR LANDING  
@ INTERIOR WALLS



GROUND FLOOR PLAN ELEV 'A'

STAIR LANDING DETAIL



SELF SUPPORTING STAIR LANDING  
@ INTERIOR WALLS  
PLAN VIEW

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	4/10/23	SFB	MC

client  
Treasure Hill Home Corp.

project  
Scouli Developments Inc.

model  
King City

project #  
60-1

scale  
19038

page  
3/16" = 1'-0"



WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION 2. PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032  
FRM BCIN: 26995  
DATE: DATEOUT

SIGNATURE: \_\_\_\_\_

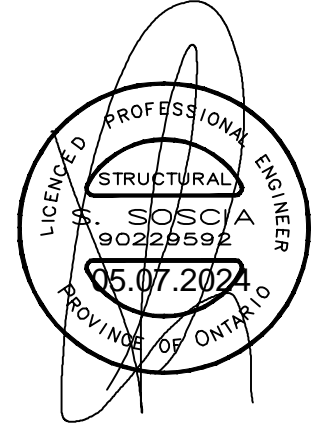
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of AURORA

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: May 14, 2024

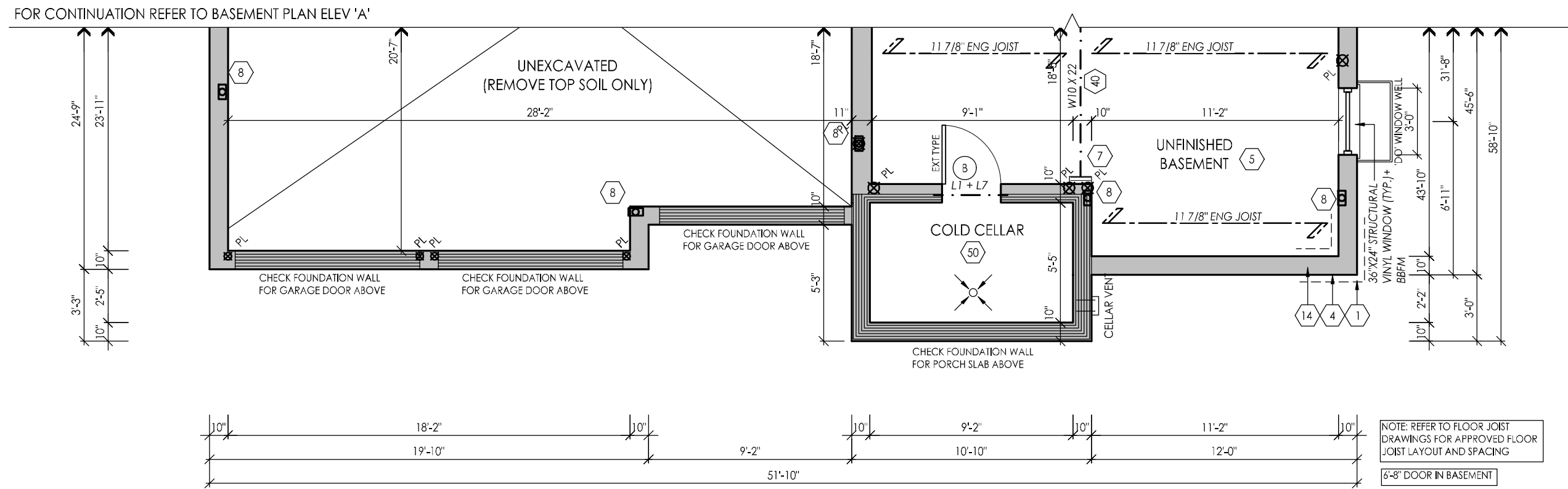
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



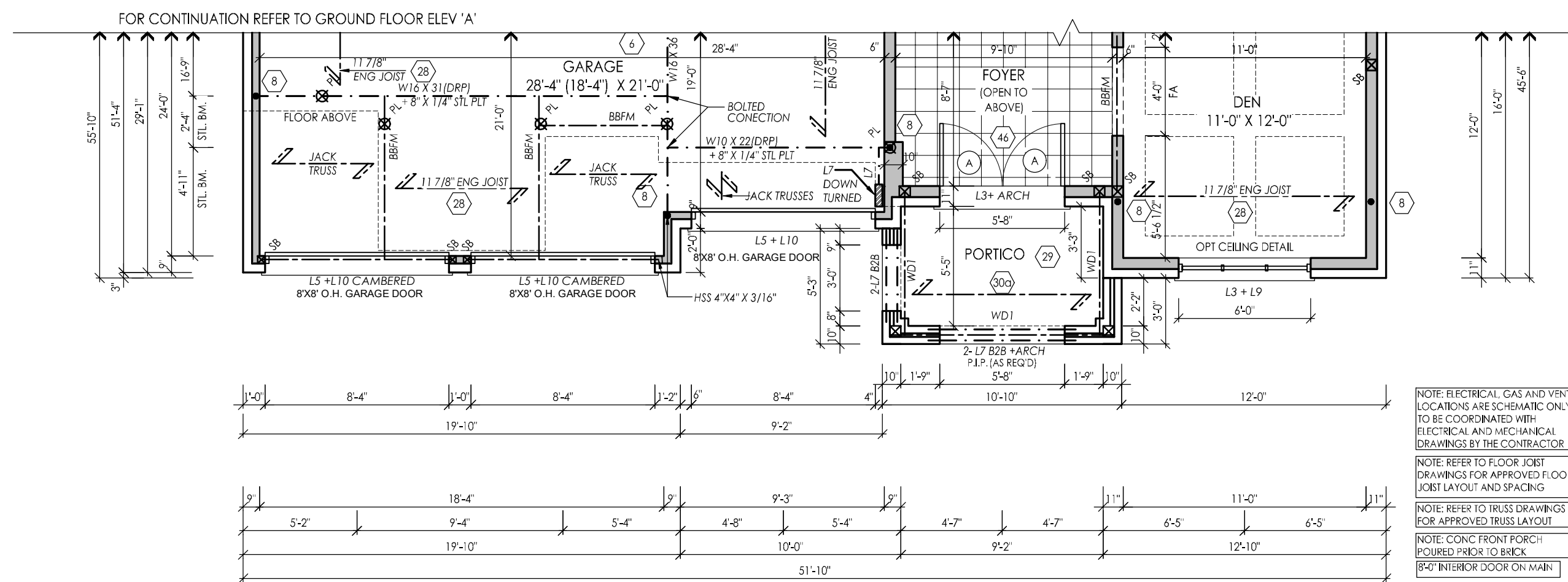
A2



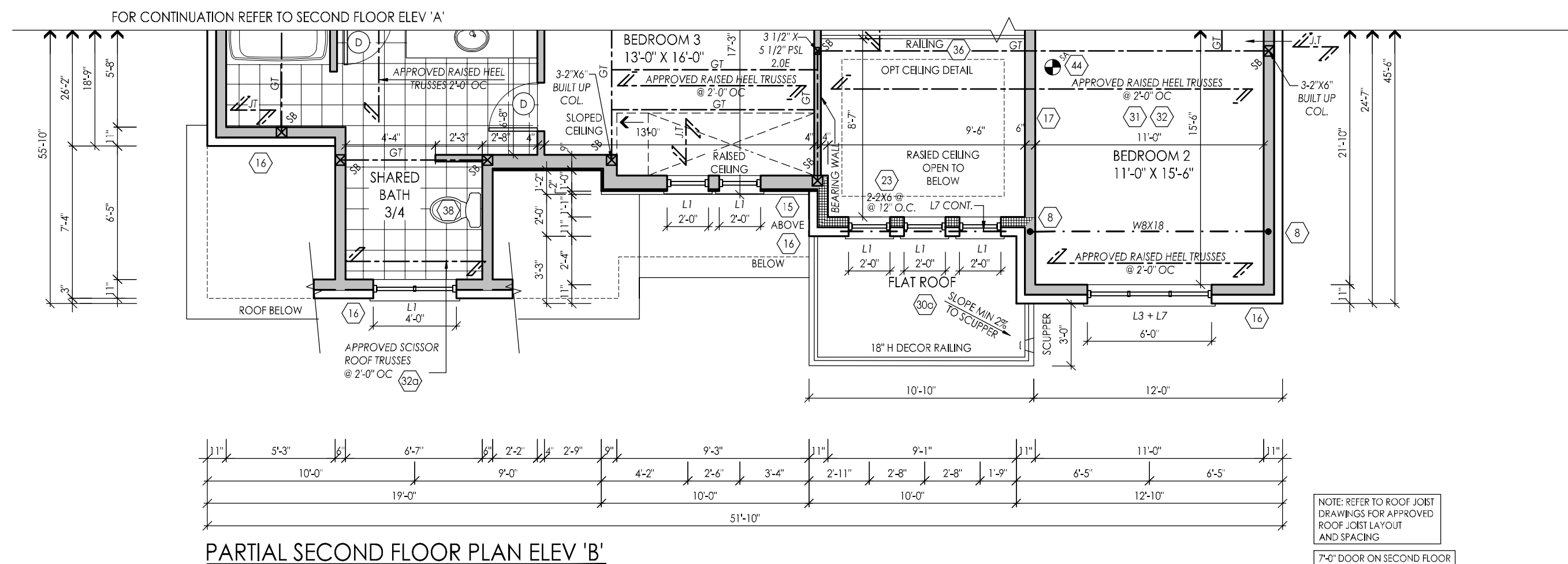




**PARTIAL BASEMENT PLAN ELEV 'B'**



**PARTIAL GROUND FLOOR PLAN ELEV 'B'**



**PARTIAL SECOND FLOOR PLAN ELEV 'B'**



WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

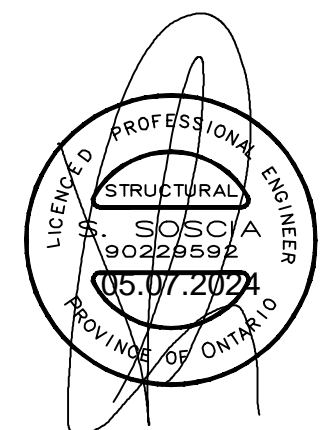
I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION 6.2 PART 4 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032  
FIRM BCIN: 26995  
DATE: DATEOUT

SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of AURORA



#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	Aug 23	SFB	NC

client: Treasure Hill Home Corp.

project: Scouli Developments Inc.

King City

model: 60-1

project #: 19038

scale: 3/16" = 1'-0"

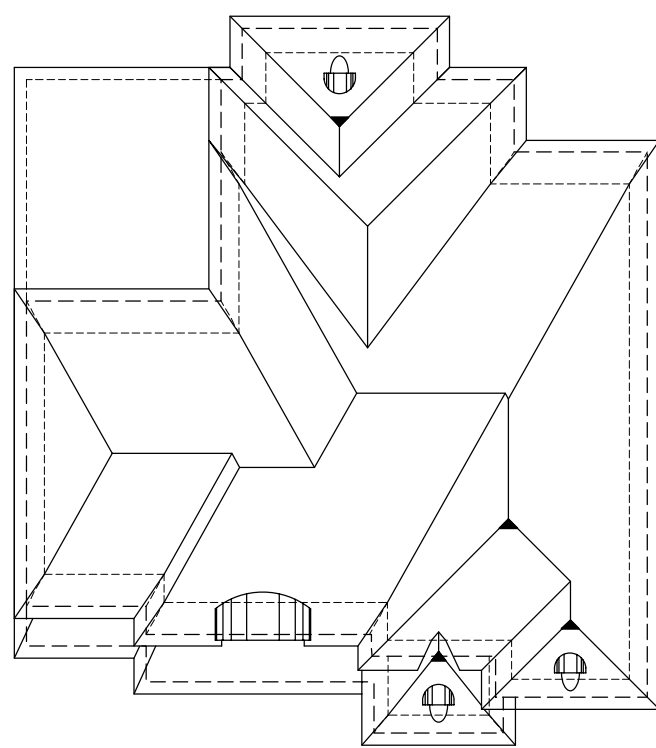
page:



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION 2. PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032  
FIRM BCIN: 26995  
DATE: DATEOUT

SIGNATURE: \_\_\_\_\_



NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS.

### GROSS GLAZING AREA-ELEV C

TOTAL PERIPHERAL WALL AREA	4596.79 SF	427.06 m²
FRONT GLAZING AREA	188.07 SF	17.47 m²
LEFT SIDE GLAZING AREA	24.00 SF	2.23 m²
RIGHT SIDE GLAZING AREA	85.33 SF	7.93 m²
REAR GLAZING AREA	259.00 SF	24.06 m²
<b>TOTAL GLAZING AREA</b>	<b>556.41 SF</b>	<b>51.69 m²</b>
<b>TOTAL GLAZING PERCENTAGE</b>	<b>12.10 %</b>	

### ROOF PLAN 'C'

ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP)  
48"X18" SEGMENTAL ARCHED TRANSOM W/ 8"x2" RAISED STUCCO ARCH HEADER W/ CENTRE KEystone AND 6" RAISED STUCCO RETURN

PRE-FINISHED ALUMINUM RVL AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP)

DECORATIVE PROFILED STUCCO FRIEZE BOARD (TYP)

14" O.H. FROM STUCCO FACE  
12" O.H. FROM BRICK / STONE FACE (TYP)

8" x 2" RAISED STUCCO HEADER W/ 6" RAISED STUCCO RETURNS (TYP)

PRE-FIN METAL FLASHING W/ CAULKING TO MATCH (TYP)

GARAGE SOFFIT

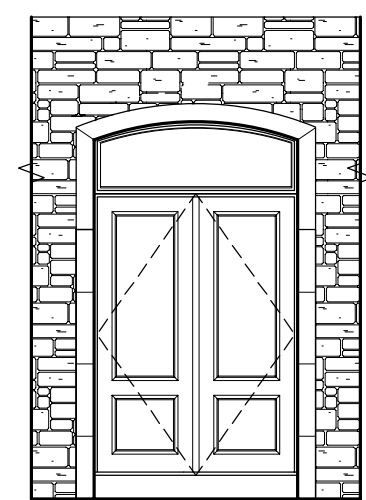
8"x2" PRECAST CONC HEADER W/ CENTRE KEystone (TYP)

STONE VENEER (TYP)

FIN. GRADE

U/S OF FOOTING

STEPPED FOOTING (TYP)



INSIDE PORTICO - ELEV. 'C'



FRONT ELEVATION 'C'

PEAK HEIGHT OF ROOF (35'-11")  
METAL ROOF SPIRE W/ METAL CAP

MID POINT OF ROOF (28'-0")

ROOF DETAIL W/ 20"X28" FALSE OVAL WINDOW W/ BLACK GLASS OR EQUIV.

BELLED ROOF

DECORATIVE STUCCO FRIEZE BOARD (TYP)

TOP OF PLATE

TOP OF WINDOW

1"x16"x16" RAISED STUCCO QUOIN DETAIL (TYP)

STUCCO FINISH (TYP) W/ METAL FLASHING BEHIND

4" x 8" PRECAST CONC. BAND

TOP OF BAND

SECOND FLOOR

TOP OF TRANSOM

TOP OF TRANSOM

TOP OF DOOR

TOP OF WINDOW

8"x2" PRECAST CONC. HEADER W/ CENTRE KEystone W/ 6" PRECAST CONC. SURROUND W/ 4" PRECAST CONC. SILL W/ 8" PRECAST BAND

GROUND FLOOR

FIN. GRADE

0'-0"

POURED CONC SILL

POURED CONC PORCH SLAB (29)

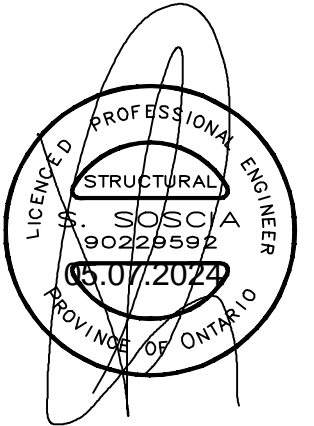
POURED CONC FDN WALLS ON CONC STRIP FOOTING (TYP) (14)

TOP OF SLAB

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of AURORA.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: \_\_\_\_\_  
DATE: Max. 15, 2024  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	Aug 23	SFB	INC

client **Treasure Hill Home Corp.**

project **Scouli Developments Inc.**

King City

model **60-1**

project # **19038**

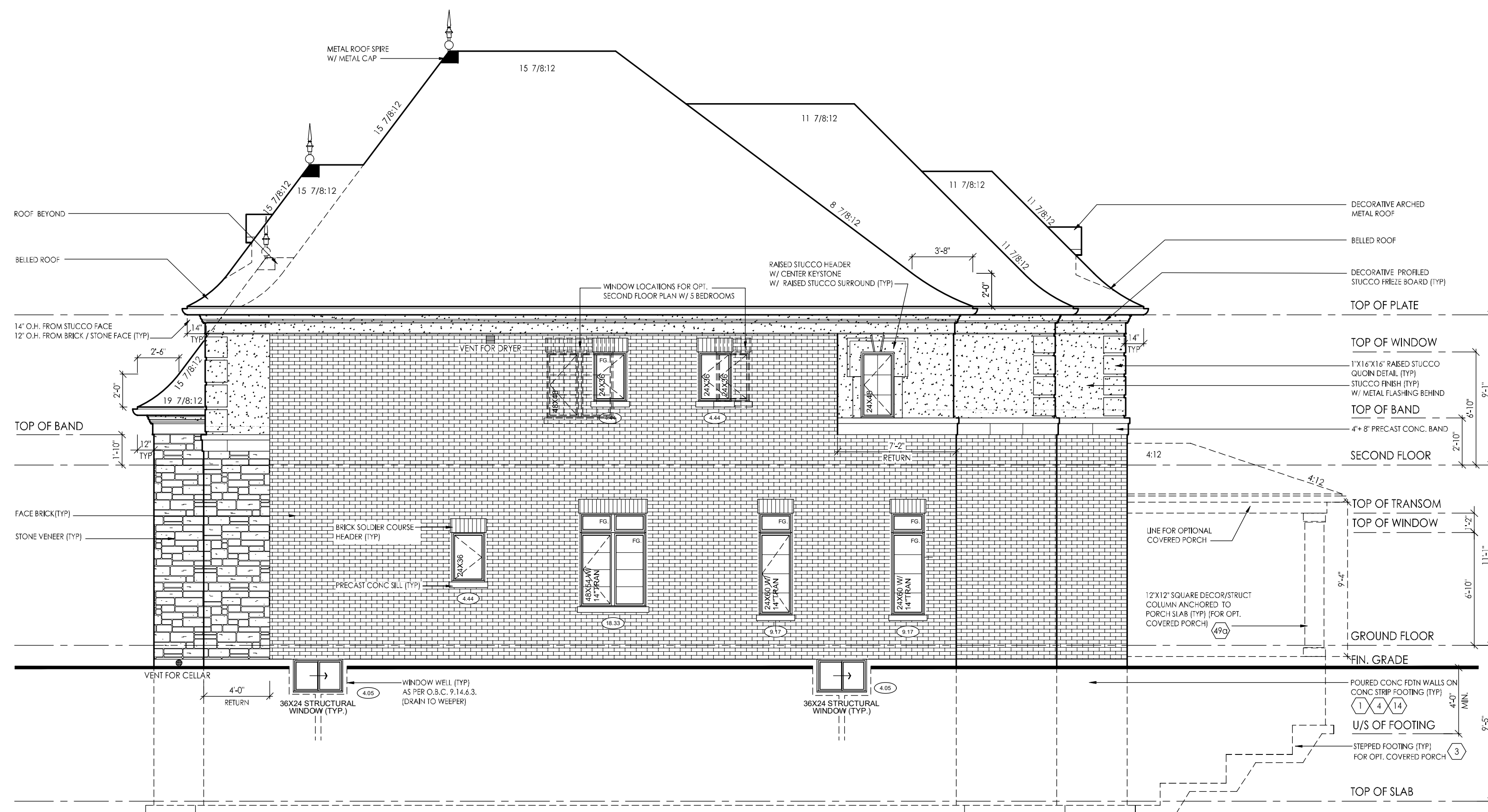
scale **3/16" = 1'-0"**

page

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032  
FIRM BCIN: 26995  
DATE: DATEOUT

SIGNATURE:



RIGHT SIDE ELEVATION 'C'

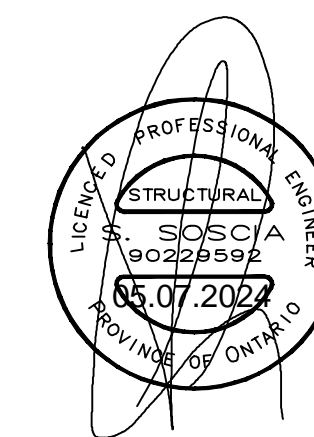
ALLOWABLE UNPROTECTED OPENINGS				
Total Wall Area		1100.49	S.F.	102.24
Limiting Distance	3.93	FT	1.2	M
Allowable Openings		77.03	S.F.	7.16
Actual Openings		65.00	S.F.	6.04

OPT. 5 BEDROOM ALLOWABLE UNPROTECTED OPENINGS				
Total Wall Area		1100.49	S.F.	102.24
Limiting Distance	3.93	FT	1.2	M
Allowable Openings		77.03	S.F.	7.16
Actual Openings		74.00	S.F.	6.87

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of AURORA.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: May 14, 2024  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	Aug 23	SFB	NC

client  
Treasure Hill Home Corp.

project  
Scouli Developments Inc.  
King City

model  
60-1

project #  
19038

scale  
3/16" = 1'-0"

page

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C.PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032  
FIRM BCIN: 26995  
DATE: DATEOUT

SIGNATURE:

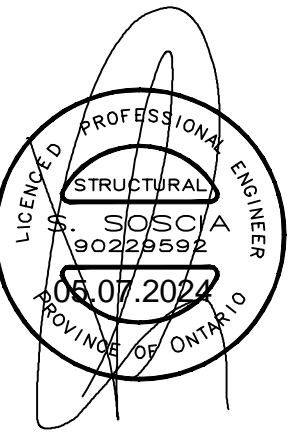


**REAR ELEVATION 'C'**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in this subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Aurora.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: \_\_\_\_\_  
DATE: May 14, 2024  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	Aug 23	SFB	NC

client  
Treasure Hill Home Corp.

project  
Sculfi Developments Inc.  
King City

model  
60-1

project #  
19038

scale  
3/16" = 1'-0"

page



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION 2. PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

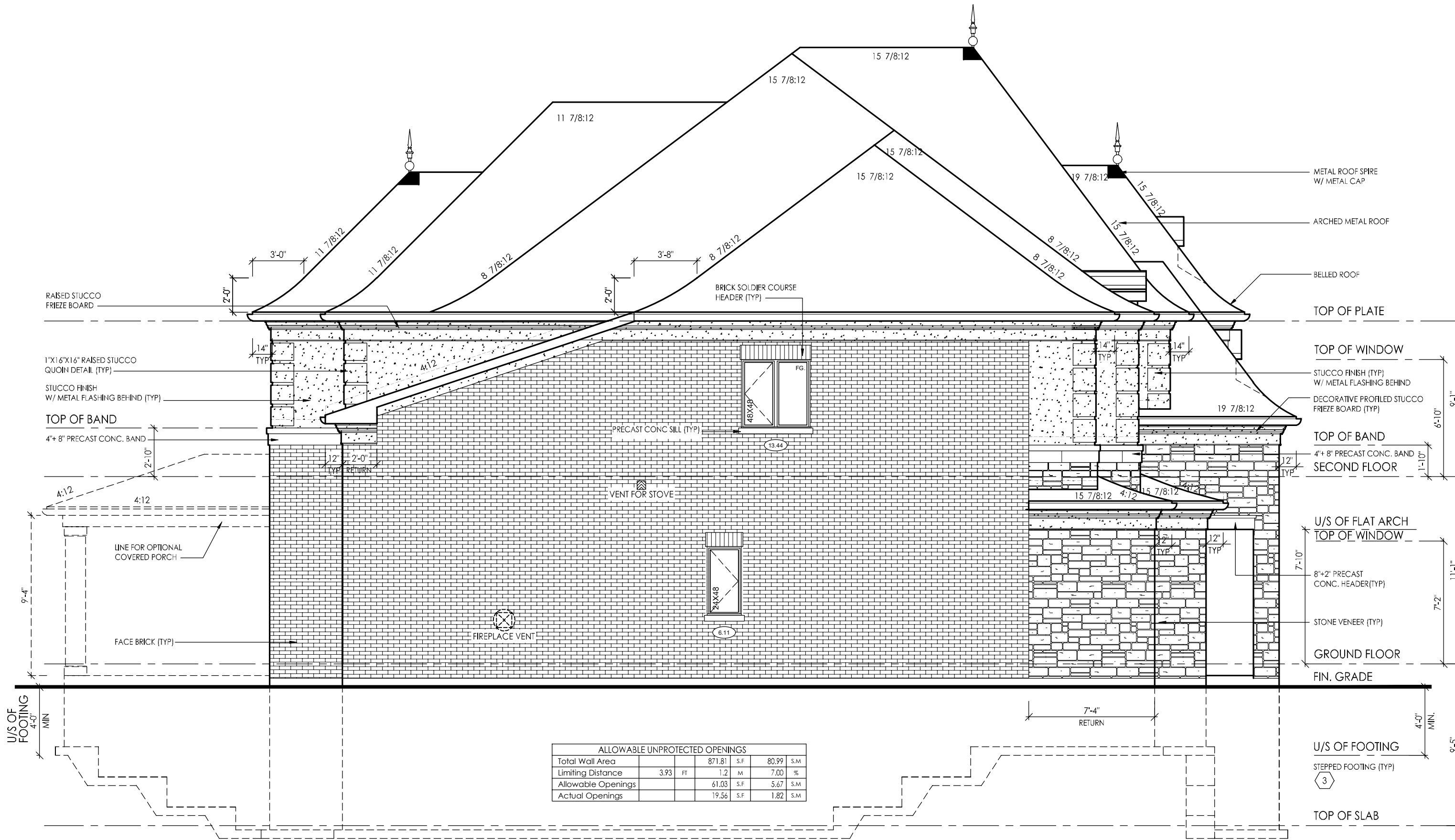
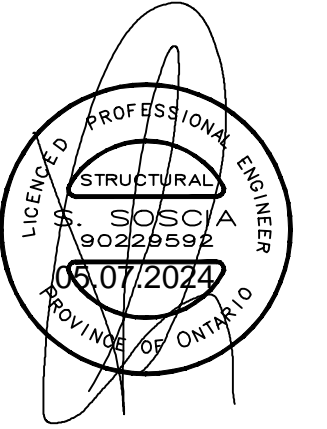
QUALIFIED DESIGNER BCIN: 21032  
FIRM BCIN: 26995  
DATE: DATEOUT

SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of AURORA

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: May 14, 2024  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



LEFT SIDE ELEVATION 'C'

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	Aug 23	SFB	NC

client  
Treasure Hill Home Corp.

project  
Scouli Developments Inc.  
King City

model  
60-1

project #  
19038

scale  
3/16" = 1'-0"

page

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C.PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032  
FIRM BCIN: 26995  
DATE: DATEOUT

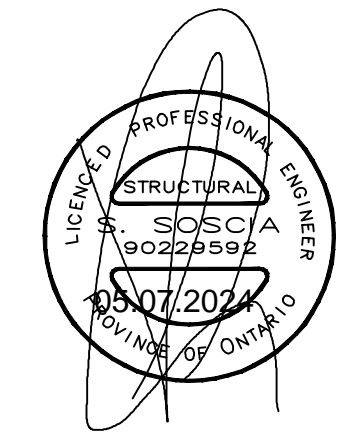
SIGNATURE: \_\_\_\_\_



REAR ELEVATION 'C' - WOB CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of AURORA.



#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	Aug 23	SFB	NC

client	Treasure Hill Home Corp.
project	Scouli Developments Inc. King City
model	60-1
project #	19038
scale	3/16" = 1'-0"
page	

## Dhwani Shah

---

**From:** Andrew Quattrociochi [aquattrociochi@king.ca](mailto:aquattrociochi@king.ca)

**Sent:** Thursday, October 24, 2024 1:11 PM

**To:** cofa [cofa@king.ca](mailto:cofa@king.ca)

**Cc:** Jennifer Roos [jroos@king.ca](mailto:jroos@king.ca)

**Subject:** RE: REQUEST FOR COMMENTS: A-24-49 (88 Sunny Acre Cres, King City)

The building division has no objection to the proposed variance and remind the applicant that a revision / building permit is required prior to construction beginning.

Regards,



**ANDREW QUATTROCIOCCHI, CBCO**  
Chief Building Official | [Building Division](#)  
2585 King Road, King City, Ontario L7B 1A1  
t: 905-833-4012 | [www.king.ca](http://www.king.ca)



The information contained in this message is directed in confidence solely to the person(s) named above and may not be otherwise distributed, copied or disclosed. This message may contain information that is privileged, confidential and exempt from disclosure under the Municipal Freedom of Information and Protection of Privacy Act. If you have received this message in error, please notify the sender immediately advising of the error and delete the message without making a copy. Thank you.



**TO: PLANNING DIVISION**  
**FROM: BY-LAW DIVISION**  
**RE: STANDARD COMMENTS/PROVIDE TO APPLICANT 88 Sunny Acre Cres**  
**DATE: October 25<sup>th</sup>, 2024**

---

**Objective:**

This memo provides a list of general comments in effort to proactively addressing common by-law and nuisance type complaints, related to construction and development.

We ask that Planning Staff, and any owner/applicant responsible for development in King, kindly take these comments into consideration and further, take steps to avoid and/reasonably mitigate any problems due to by-law violations or nuisances for the community. Further that contact information for responsible parties be identified early, and be maintained current and in a central location to be used, as required.

**Signs:**

1. Signage is subject to the Sign By-law, as amended, including review, approval and permitting. Identify and provide proposed signage, locations, and any details early in development planning stages.

**Municipal Number Identification:**

2. A municipal address number sign (known as a green number sign) must be erected and clearly visible from the highway identifying the property in accordance with municipal records.

**Noise:**

3. Construction type noise/sound is subject to the Noise By-law 81-142, as amended.
  - a) No construction (related noise) on Sunday anytime or, Monday-Saturday (9:00 pm and 7:00 am.)
  - b) There is **zero** tolerance for related complaints.
  - c) Consider your neighbors and try to avoid construction related noise on statutory holidays and avoid the use of generators, if possible.

**Garbage:**

4. Ensure adequate garbage/disposal system on the property.
5. Garbage on the property during construction, to be maintained including stored properly so as not to create an unsightly appearance and to ensure is not lose and blowing around.

**Fencing:**

6. Fencing is subject to the Fence By-law, as amended, including but not limited to: height, location, pool enclosures, etc.
7. Privacy Screening/Noise Attenuation Barriers and exterior yard fencing constructed so as not to be climbable and in accordance with the pool enclosure requirements on both sides.

**Road:**

8. Road allowance (including boulevard, grass, highway and sidewalk) to remain free and clear of: debris, mud (e.g. mud tracking) equipment and/or any type of materials.
  - a. Activity within the municipal right of way is prohibited and there will be zero tolerance of any fouling and encumbering of a roadway.
9. Half loads or reduced loads may be in in place on roads; ensure to abide by load restrictions.
10. Ensure entrance rules, (e.g. measurements, locations) are discussed/ reviewed and communicated to the home owner in the early staged (note- conflict in driveway widths private property versus municipal property to be resolved.)

## **Parking**

11. Adequate parking spaces to be allocated on the site for the proposed uses including during the project.
12. On-street parking is subject to parking by-law, included but not limited to: loading/unloading, facing the direction of traffic, not exceeding 3 hours, interferes with snow removal, or during winter restrictions.
  - a. All trades/contractors to park on one side of the street subject to parking restrictions.
  - b. Traffic and parking plan to be coordinated to determine requirements for on-street parking during construction and paving later on during the projects, and if parking exemptions will be necessary through by-law (AIMS.)
13. In the case of private property and where parking lots are proposed that parking signage be displayed, at all entrances/exits; giving authority for enforcement for parking offences, as may be required.
14. Ensure roads in the vicinity of the project and the property are evaluated for potential or necessary parking restrictions as may be required due to the development. Consider parking restrictions on the same side or in the vicinity of the development and/or implement lay by lane parking.
15. Consideration of on-street parking restrictions in the vicinity of development area (e.g. where high traffic visitors.).
16. Ensure adequate parking signage is installed prior to occupancy and consider:
  - a. fire routes, accessible parking, no parking in the isle lanes, parking only in designated parking stalls/spaces, parking by permit only and at all entrances a sign that reads: all unauthorized vehicles parked will be tagged and/or towed at owners expense.
  - b. Ensure visitor parking is provided.

## **Agreement:**

17. Include comments in the agreements that all development must comply with all applicable laws.
  - a. Ensure that any agreements or security deposits obtained/retained by the municipality includes a condition that said security/deposit will not be released unless it is proven that the property and works are in compliance will all applicable law. (For example if pool constructed a fence must be installed in accordance with by-laws.)
18. Ensure the property is in compliance with all applicable laws and that as built drawings are provided and in compliance with all submissions and applicable laws.

## **Other:**

19. **No works to commence on the property until all approvals and permits have been obtained and/or clearance has been provided by the Township.**
20. Site alteration outside the building envelope is not permitted without approval.
21. Ensure all submitted drawings are clear, and illustrate where site alteration activities proposed to take place and in such cases a detailed and approved grading plan is to be provided by a qualified person showing pre-existing grade and final grade, confirming drainage is maintained on the subject property and all fill is clean, in the event of reported complaints.
22. Easements and encroachments to be reviewed to ensure, not impeded or affected.
23. Ensure 'uses' and/or proposed 'uses' of the property and structures are in accordance with the Zoning By-laws, and recorded properly by MPAC.
24. Dust measures should be taken into consideration throughout the construction period so as to ensure adjacent properties are not unreasonably affected.
25. Ensure existing trees are protected.

## **Snow:**

26. Consider dedicated snow storage areas away from adjacent properties to avoid flooding or drainage complaints.

## **Adjacent Properties:**

27. In-fill lots must have additional restrictions in place to avoid and address all nuisances (e.g. road damage deposits.)
  - a. Ensure adjacent properties are not affected due to: construction activities, debris, height, location, setbacks, drainage and/or lighting.



- b. Ensure that the construction site is fenced to avoid problems on adjacent properties and ensure all works is contained on the site.
  - c. Ensure all lights are not directed towards adjacent properties.
- 

#### **INTERNAL COMMENTS FOR REVIEW:**

##### **Key Contact:**

- 28. Ensure that key contact information (email, office/cell numbers) of persons responsible for overseeing any works on the property and as well as the property owner, is readily available to the by-law enforcement division through Land Manager and Laser Fiche, etc.

##### **Financial:**

- 29. Obtain a security deposit and confirm the applicant understands that during development and the duration of the construction they must comply with all municipal by-laws, failing which there will be zero tolerance and any security deposit obtained will be utilized to bring matters into compliance promptly through remediation.
- 30. Ensure to check with all departments for any outstanding violations prior to signing off or returning **security/deposit**.

##### **Workflow:**

- 31. Ensure the works undertaken at the property are per the approved plans before releasing any securities. Ensure staff are clear on what is permitted in the even enforcement is required.
- 32. In the event of complaints the planner/property owner will be contacted by Engineering to identify and concern any issues and Planning/Engineering will work with the owner/applicant and will request the assistance of By-law as may be required.
- 33. Consideration of using Land Manager, Laser Fiche and GIS to identify property/file numbers/key contact information for all responsible parties.

##### **Traffic:**

- 34. Ensure by-law amendments for applicable road related restrictions (e.g. speed, stopping, and parking) are enacted through by-law amendment and that required signs are installed accordingly and before occupancy.

## Dhwani Shah

---

**From:** Jessica Sciascia  
**Sent:** Wednesday, October 30, 2024 1:58 PM  
**To:** cofa  
**Cc:** Dhwani Shah; Gordon Dickson  
**Subject:** RE: REQUEST FOR COMMENTS: A-24-49 (88 Sunny Acre Cres, King City)

Hello,

We have no objections to the application.

Please see my comments below that need to be addressed at the time of development engineering approval:

- Applicant to provide a hardscaping breakdown of the property, <https://www.king.ca/HardLandscapingExemption> and <https://www.king.ca/sites/default/files/images/Hardscaping%20breakdown.pdf>

Thank you,

**Jessica Sciascia**

Civil Engineering Technologist | Growth Management Services

2585 King Road, King City, Ontario L7B 1A1

t: 905-833-5321 ext. 1055 | c: 416-526-6985 | [www.king.ca](http://www.king.ca)





The information contained in this message is directed in confidence solely to the person(s) named above and may not be otherwise distributed, copied or disclosed. This message may contain information that is privileged, confidential and exempt from disclosure under the Municipal Freedom of Information and Protection of Privacy Act. If you have received this message in error, please notify the sender immediately advising of the error and delete the message without making a copy. Thank you.

---

**From:** cofa <cofa@king.ca>

**Sent:** October 24, 2024 11:56 AM


**To:** Karen Wootton <kwootton@king.ca>; Jessica Sciascia <jsciascia@king.ca>; Nairn Robertson <nrobertson@king.ca>; by-law <by-law@king.ca>; Andrew Quattrociocchi <aquattrociocchi@king.ca>; York Region (developmentservices@york.ca) <developmentservices@york.ca>

**Cc:** Dhwani Shah <dshah@king.ca>

**Subject:** REQUEST FOR COMMENTS: A-24-49 (88 Sunny Acre Cres, King City)

Good morning,

Please see attached Notice of Hearing and link below for related submission materials.

 [A-24-49 - CIRC](#)

Kindly provide comments and/or conditions to [COFA@King.ca](mailto:COFA@King.ca) no later than **Thursday, October 31st , 2024.**

Thank you,



**ADRIANA BOZZO**

Supervisor, Planning Coordination and Liaison | Planning Division

2585 King Road, King City, Ontario L7B 1A1

t: 289-800-2667 | [www.king.ca](http://www.king.ca)



The information contained in this message is directed in confidence solely to the person(s) named above and may not be otherwise distributed, copied or disclosed. This message may contain information that is privileged, confidential and exempt from disclosure under the Municipal Freedom of Information and Protection of Privacy Act. If you have received this message in error, please notify the sender immediately advising of the error and delete the message without making a copy. Thank you.

## Dhwani Shah

---

**From:** Nairn Robertson [nrobertson@king.ca](mailto:nrobertson@king.ca)

**Sent:** Thursday, October 24, 2024 3:26 PM

**To:** cofa [cofa@king.ca](mailto:cofa@king.ca)

**Subject:** RE: REQUEST FOR COMMENTS: A-24-49 (88 Sunny Acre Cres, King City)

Good afternoon COFA, KFES have no comments/concerns with this minor variance application. Stay safe, talk soon.



**Nairn G. Robertson, C.E.T., C.F.I.**

**Fire Prevention Officer**

[Fire and Emergency Services | Township Of King](#)

2045 King Road | King City, ON | L7B 1A1

905.833.4071

[nrobertson@king.ca](mailto:nrobertson@king.ca)

Proudly Serving the residents of the Township of King!

The information contained in this message is directed in confidence solely to the person(s) named above and may not be otherwise distributed, copied, or disclosed.

This message may contain information that is privileged, confidential and exempt from disclosure under the Municipal Freedom of Information and Protection of Privacy Act.

If you have received this message in error, please notify the sender immediately advising of the error and delete the message without making a copy. Thank you.

## Adriana Bozzo

---

**From:** cofa  
**Subject:** FW: REQUEST FOR COMMENTS: A-24-49 (88 Sunny Acre Cres, King City)

---

**From:** Development Services <developmentsservices@york.ca>  
**Sent:** October 25, 2024 11:40 AM  
**To:** cofa <cofa@king.ca>  
**Subject:** RE: REQUEST FOR COMMENTS: A-24-49 (88 Sunny Acre Cres, King City)

**CAUTION!** This email originated from **outside your organization**. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the **Report a Phish** Outlook add-in. If you think you may have clicked on a phishing link, please mention that when reporting the phishing email.

Hi Adriana,

The Region has completed its review of minor variance application A-24-49 and has no comment. Please provide a copy of the notice of decision for our records.

Many thanks,

**Christine Meehan, B.U.R.P.I., B. B. A** | Planner (Intake Lead), Economic and Development Services Branch,  
Corporate Services Department

---

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 | [christine.meehan@york.ca](mailto:christine.meehan@york.ca) | [www.york.ca](http://www.york.ca)

*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

November 5, 2024

PAR-DPP-2024-00359  
X REF CFN: 65631

**SENT BY E-MAIL: ([cofa@king.ca](mailto:cofa@king.ca))**

Adriana Bozzo  
Planning Coordinator, Secretary Treasurer  
Planning Division  
Township of King  
2588 King Road  
King City, ON L7B 1A1

Dear Adriana Bozzo,

**Re: Minor Variance Application A-24-49  
88 Sunny Acre Cres  
Registered Plan 65M-4797  
Township of King, York Region  
Owner: Scouli Developments (BT) Inc. (c/o Howard Li)  
Agent: Malone Given Parsons Ltd. (c/o Steven McIntyre)**

This letter will acknowledge receipt of the circulation of the above noted Minor Variance Application received by Toronto and Region Conservation Authority (TRCA) on October 24, 2024. A list of materials reviewed by TRCA is included in Appendix "A".

TRCA staff have reviewed the application in accordance with the Conservation Authorities Act (CA Act) and its associated regulations, which require TRCA to provide programs and services related to the risk of natural hazards within its jurisdiction. Whether acting on behalf of the Ministry of Natural Resources (MNR) or as a public body under the Planning Act, Conservation Authorities (CAs) must help ensure that decisions under the Planning Act are consistent with the natural hazards policies of the Provincial Policy Statement (PPS) and conform to any natural hazard policies in a Provincial Plan.

In addition, TRCA staff have also reviewed these applications in accordance with TRCA's permitting responsibilities under Section 28.1 of the CA Act. Where development activities are proposed within a TRCA Regulated Area (i.e., river or valley, wetlands, hazardous lands, etc.), a permit is required from TRCA. TRCA must ensure that where a proposal is within an area regulated by TRCA, that the proposal conforms with the appropriate policies of Section 8 of TRCA's Living City Policies (LCP), which evaluate a proposal's ability to meet the tests of the CA Act and regulation.

We provide the following in accordance with TRCA's commenting role under the Planning Act and regulatory role under the Conservation Authorities Act (CA Act). For additional information, please see Ontario Regulation 686/21.

### **Purpose of the Application**

It is our understanding that the applicant is seeking relief from Zoning By-law 2017-66 and Zoning By-law 74-53 to permit the following variances to increase the maximum permitted encroachment into the required rear yard setback, of an unenclosed covered porch not exceeding one (1) storey in height:

- Relief from Section 3.42 (Table 3.42.1 ((iv) to permit a maximum encroachment of 4.0 metres into a required rear yard setback for an unenclosed covered porch not exceeding one (1) storey in height. **(Zoning By-law 2017-66)**
- Relief from Section 6.55 (iv) to permit a maximum encroachment of 4.0 metres into a required rear yard setback for an unenclosed covered porch not exceeding one (1) storey in height. **(Zoning By-law 74-53)**

### **Site Context**

#### **O. Reg. 41/24 and CA Act:**

TRCA staff have had a review of the subject property and note it is located outside of TRCA's regulated area. As such, a TRCA permit in accordance with Section 28.1 of the CA Act will not be required for development on this property.

### **Application Specific Comments**

TRCA staff have previously issued TRCA permits associated with an approved draft plan of subdivision (Town File:19T-06K08). Through the planning process associated with this subdivision, all natural hazards located on the subject property were defined. Accordingly, the above noted lot, was appropriately setback from applicable hazards and regulated features.

Based on our review of the submitted materials, the requested variances are internal to the subdivision and do not appear to impact TRCA's interests or conditions of draft plan approval.

As noted above, no development is being proposed within TRCA's Regulated Area. Therefore, a TRCA permit in accordance with Section 28.1 of the CA Act will not be required in this instance. Notwithstanding, TRCA has an interest in all future development on the above-mentioned property as it may be subject to a TRCA permit in accordance with Section 28.1 of the CA Act. Given the above, staff have no concerns with the minor variance application as currently proposed.

### **Application Review Fee**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This minor variance application is subject to a \$660 (Minor Variance -Residential Minor). The applicant can contact the undersigned via email to organize payment of this fee. For more information regarding this fee, the applicant can refer to TRCA's planning services fee schedule: [Fee Schedule for TRCA Development Planning Services](#). The applicant is responsible for arranging payment of this fee to our office within 60 days of this letter.



## **Recommendations**

Based on the comments noted in this letter, TRCA staff recommends **conditional approval** of Minor Variance Application A-24-49 based on the following condition(s):

1. The applicant submits the minor variance application fee of \$660 payable to TRCA.

We trust these comments are of assistance. Should you have any questions, please contact me at [porter.greatrex@trca.ca](mailto:porter.greatrex@trca.ca).

Sincerely,



**Porter Greatrex, MPI**  
Planner I  
Development Planning and Permits | Development and Engineering Services

PG/nm

## **Appendix A: Materials Reviewed**

- Notice of Public Hearing, dated October 24, 2024.
- Draft M-Plan prepared by Schaeffer Dzaldov Purcell Ltd., dated May 30, 2023.



THE CORPORATION OF THE TOWNSHIP OF KING  
REPORT TO COMMITTEE OF ADJUSTMENT

November 20, 2024

Planning Division  
Report File #: A-24-49

RE: **Minor Variance Application**  
**Municipal Address: 88 Sunny Acre Crescent**  
**Legal Address: Lot 24, Plan 65M-4797**  
**Agent: Malone Given Parsons Ltd. (c/o Steven McIntyre)**  
**Owner: Scouli Developments (BT) Inc. (c/o Howard Li)**

---

*Note: This report was prepared on the basis of comments received prior to November 7, 2024*

1. **RECOMMENDATION:**

a) THAT Minor Variance Application A-24-49 **BE APPROVED** with conditions as noted in Attachment 1.

2. **PROPOSAL:**

**Proposed Development:**

The total landholding comprises a registered plan of residential subdivision with an overall lot area of approximately 21.85 hectares (53.99 acres) and a total of 105 detached residential lots as located in the northeast quadrant of the settlement area of the Village of King City; south of 15<sup>th</sup> Sideroad and west of Dufferin Street. **Attachment No. 2** includes a draft copy of the Registered Plan (65M-4797) with the parcel subject of this application shown as Lot 24.

The subject lands are located within the King City East Development Area which comprises several draft approved and/or registered plans of residential subdivision. A total of 1,029 residential units are proposed for the area and will include a variety of dwelling types (including detached dwellings and townhouse dwellings) and lot sizes upon completion.

A building permit has been issued for the construction of a detached dwelling on the lands subject of this application. Construction is currently underway on-site and the construction of several other dwellings in various stages is occurring in the immediate vicinity.

The application proposes an increase in the maximum permitted rear yard encroachment into the rear yard for an unenclosed covered porch not exceeding one (1) storey in height. The selected house model (60-1) includes an option for a rear yard covered porch, which in the case of the proposed development comprises a covered porch measuring 3.66 metres (depth) X 4.98 metres (width) for an overall proposed ground floor area of 18.23 m<sup>2</sup>. When inclusive of the width of the proposed eaves of the structure (0.30 metres) (included in the calculation of maximum permitted encroachment), the overall depth of the covered porch is 3.96 metres. The proposed encroachment into the rear yard of the covered porch is 3.91 metres. The applicant has proposed an encroachment variance to permit a total encroachment of 4.0 metres into the required rear yard for the covered porch to ensure some additional tolerances to final measurements. The location of the covered porch, including the proposed encroachment, relative to the rear lot line is illustrated on **Attachment No. 3**. Building Elevations and Floor Plans for Model 60-1 (with optional covered porch) are included as **Attachment No. 4**.

The details of the requested variances are included in the following Table:

#	Zoning By-law No. 74-53, as amended by By-law No. 2019-075	Variance requested:
1	Section 6.55 (iv) permits a maximum encroachment of 2.4 metres (including eaves and cornices) into a required rear yard for porches not exceeding one (1) storey in height and uncovered terraces (excluding stairs)	Relief from Section 6.55 (iv) to permit a maximum encroachment of 4.0 metres into a required rear yard setback for an unenclosed covered porch not exceeding one (1) storey in height.
#	Zoning By-law No. 2017-66, as amended by By-law No. 2019-076	Variance requested:
2	Section 3.42 (Table 3.42.1 (iv) – Permitted Yard and Setback Encroachments) permits a maximum encroachment of 2.4 metres (including eaves and cornices) into a required rear yard of porches not exceeding one (1) storey in height and uncovered terraces.	Relief from Section 3.42 (Table 3.42.1 (iv)) to permit a maximum encroachment of 4.0 metres into a required rear yard setback for an unenclosed covered porch not exceeding one (1) storey in height.

**3. PLANNING ACT (SECTION 45(1)) – “FOUR TESTS” SUMMARY:**

The following analysis of the subject variances is based on the four (4) tests of a Minor Variance as set out in Section 45(1) of the Planning Act.

1) Does the Minor Variance maintain the general intent and purpose of the Official Plan?

Yes       No

The lands subject of the application are designated ‘Low Density Residential 5 Area’ and ‘Environmental Protection Area’ to Schedule 4 (Land Use and Transportation Strategy) of OPA No. 89 to the Township of King Official Plan (“Our King”), as amended.

OPA No. 89 was approved by Council on July 11, 2016 (By-law 2016-67) and established area-specific development policies for these lands, including those related to residential density and buffering from the minimum vegetation protection zone.

The ‘Low Density Residential 5 Area’ designation permits a wide range of residential uses, including single detached dwellings, townhouses, semi-detached dwellings (or other similar dwelling types) with a maximum height of three storeys, seniors housing development (with a maximum height of three storeys). Neighbourhood parks and home occupations are also permitted by the applicable land use designation.

2) Does the Minor Variance maintain the general intent and purpose of the Zoning By-law?

Yes       No

The lands subject of the application are zoned Residential Urban Single Detached “A” – K3 Exception (‘R1A-K3’) Zone to Schedule ‘A’ (Map No. 3 – King City Area) of Zoning By-law 74-53 (as amended by By-law 2019-075) and Residential Single Detached “A” – K3 Exception (‘R1A-K3’) Zone – R1A-6 to Schedule ‘A4’ of Zoning By-law 2017-66 (as amended by By-law 2019-076).

Section 7.68 (iv) (R1A-K3 Exceptions) of the Township of King Zoning By-law 74-53 prescribes that the minimum required rear yard setback within the ‘R1A-K3’ Zone is 7.5 metres.

Section 6.55 (iv) (Yard and Setback Encroachments Permitted) of the Township of King Zoning By-law 74-53 permits encroachments of porches not exceeding one (1) storey in height of a maximum of 2.4 metres (including eaves and cornices) into a required rear yard.

Section 6.5.2.6 (d) (R1A Zone Exceptions) of the Township of King Zoning By-law 2017-66 prescribes that the minimum required rear yard setback within the ‘R1A-K3’ Zone – R1A-6 is 7.5 metres.

Section 3.42 (Table 3.42.1 (iv) - Permitted Yard and Setback Encroachments) of the Township of King King Zoning By-law 2017-66 permits encroachments of porches not exceeding one (1) storey in height and uncovered terraces of a maximum of 2.4 metres (including eaves and cornices) into a required rear yard.

Part 2 (Definitions) of Zoning By-law 2017-66 defines “porch” as ‘an unenclosed, covered platform with direct access to the ground that is attached to a dwelling.’

The applicable zoning contemplates permitted encroachments into the rear yard for structures similar to that which is proposed as part of this application. The site-specific zoning of the lot contemplated dwelling options which might include a rear yard covered porch.

However, site-specific considerations related to lot shape and depth have necessitated the application for minor variance. Due to the limits of a Minimum Vegetation Protection Zone on Block 108 (south) (associated with an abutting Natural Heritage System), the south lot line of the subject lands is irregular in shape which has created ‘pinch-points’ in terms of minimum rear yard setback lines; particularly, in the area of the proposed rear yard covered porch, where these setbacks are at their minimum.

As a result, the subject lands have a shallow rear yard depth relative to adjacent lands to the west and east and along the south side of Sunny Acre Crescent.

The proposed dwelling otherwise complies with all other applicable zone provisions related to the construction of a detached dwelling. The proposed rear yard setback to the proposed covered porch (excluding the eaves) is 3.92 metres. These dimensions will need to be verified at the time of building permit issuance.

- 3) Is the Minor Variance desirable for the appropriate development or use of land, building, or structure?

Yes       No

The proposed design and massing of the detached dwelling (including Model 60-1) were previously reviewed and approved through architectural control as part of the subdivision approval process. The proposed structure is anticipated as an unenclosed covered porch to serve as an outdoor extension of the kitchen and amenity area. There are no anticipated impacts related to adjacent and neighbouring development as a result of interior side yard setbacks or building height, nor are variances being contemplated or are required to related zone provisions. Land uses to the south include those as permitted within the applicable Environmental Protection ('EP') Zone.

The setback resulting from the additional encroachment of the covered porch into the required rear yard is not anticipated to present adverse impacts from a technical engineering (i.e. drainage) or environmental perspective as it relates to the adjacent Minimum Vegetation Protection Zone and Natural Heritage System. Development Engineering staff have expressed 'no objections' to the application. Toronto and Region Conservation Authority (TRCA) has been circulated the application for review and has confirmed that as the subject property is located outside of the TRCA Regulated Area, a TRCA permit will not be required with respect to the proposed development and has no concerns with the Minor Variance Application, as proposed.

- 4) Is the relief sought minor in nature?

Yes       No

In consideration of the above, the proposed variances to increase the maximum permitted encroachment of an unenclosed covered porch not exceeding one (1) storey in height into the required rear yard is not anticipated to present adverse impacts related to the function and land use of the property or adjacent lots.

Prepared by the Township of King Planning Division on November 8, 2024

Prepared by:

---

Gordon Dickson, MCIP, RPP  
Supervisor, Planning and Development

### **ATTACHMENTS**

- Attachment No. 1 - Recommended Conditions of Approval
- Attachment No. 2 - Registered Plan of Subdivision (65M-4797)
- Attachment No. 3 - Lot Siting and Encroachment Plans (Lot 24)
- Attachment No. 4 - Porch Elevations & Floor Plans (Model 60-1)



THE CORPORATION OF THE TOWNSHIP OF KING  
CONSOLIDATION OF RECOMMENDED CONDITIONS

November 20, 2024

Growth Management Services Department  
Planning Division  
Report: A-24-49

Re: **Minor Variance Application**  
**88 Sunny Acre Crescent**  
**Lot 24, Plan 65M-4797, Village of King City**  
**Owner: Scouli Developments (BT) Inc. (c/o Howard Li)**  
**Agent: Malone Given Parsons Ltd. (c/o Steven McIntyre)**

---

*Note: Based on comments received prior to November 7, 2024*

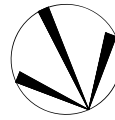
#	Schedule of Conditions	Department Contact
1	That the Plans submitted for a Building Permit shall be in substantial conformity with the drawings, as prepared for, and submitted with the Minor Variance Application.	Gordon Dickson, Planning Division <a href="mailto:gdickson@king.ca">gdickson@king.ca</a>
2	That the applicant submits the minor variance application fee of \$660 payable to TRCA.	Porter Greatrix, Planner 1 Toronto and Region Conservation Authority <a href="mailto:porter.greatrix@trca.ca">porter.greatrix@trca.ca</a>





**NOTES -**

- DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.
- THE BUILDERS MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.
- BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
- BUILDER TO VERIFY SERVICE CONNECTION ELEVATION PRIOR TO CONSTRUCTING FOUNDATIONS. THE AS-CONSTRUCTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.
- BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.
- EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- WHERE SLOPES EXCEED 5%, 3:1 SLOPES SHALL BE USED TO MAKE UP DIFFERENCE. 4:1 SLOPES SHALL BE USED IF HEIGHT DIFFERENCE EXCEEDS 1.0m.
- ALL ROOF DRAINS SHALL DISCHARGE ONTO SPLASH PADS OR GRASSED AREAS WHERE RDC COLLECTOR IS NOT PROVIDED.
- ALL LOTS TO HAVE MINIMUM 200mm TOPSOIL AND SOD.
- SWALE DEPTH TO BE ACCORDING TO FLOW - MINIMUM 150mm, MAXIMUM SWALE LENGTH SHALL BE 90m.
- MIN. 50% OF ROOF DOWNSPOUTS SHOULD DRAIN TO FRONT YARD ON ALL SPLIT DRAINING LOTS AND WALKOUT LOTS BACKING ONTO ANOTHER LOT.
- RETAINING WALLS TO BE DESIGNED AND SEALED BY A STRUCTURAL ENGINEER. CONSTRUCTION OF THESE WALLS SHALL BE INSPECTED AND CERTIFIED BY A STRUCTURAL ENGINEER AND A GEOTECHNICAL ENGINEER. THE DESIGN OF THE RETAINING WALLS, AND RETAINING WALLS AND FENCE COMBINATION ARE TO BE COORDINATED BY SABOURIN KIMBLE AND ASSOCIATES (SKA). SKA WILL BE RESPONSIBLE FOR COORDINATING CONSTRUCTION, ENSURING THAT PROPER INSPECTIONS ARE CARRIED OUT AND PROVIDING FINAL CERTIFICATION THAT THE WALLS HAVE BEEN CONSTRUCTED AS PER THE DESIGN.
- CLEAR STONE (19mm GRADATION) AT A MINIMUM DEPTH OF 100mm SHALL BE PLACED IN SIDE YARD AREAS BETWEEN HOUSES AND DISTANCE LESS THAN 2.6m INSTEAD OF SOD.
- A TRANSITION RUN-OUT AREA TO DRAIN THE SUB-GRADE SHALL BE PROVIDED AT THE CLEAR STONE/SOD INTERFACE.
- WHERE FENCE IS BETWEEN PRIVATE AND PUBLIC LANDS, 1.8m HIGH CHAIN LINK FENCE WITH 9 GAUGE WIRE AND NO LARGER THAN 37mm OPENING IS REQUIRED. THE POSTS ARE TO BE ON PRIVATE SIDE, INCLUDING THE FOOTINGS, AND THE MESH IS TO BE ON THE PUBLIC SIDE.



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	65M-
ZONE	RIA-K3
LOT NUMBER	LOT 24
LOT AREA(m) <sup>2</sup>	608.56
BLDG AREA(m) <sup>2</sup>	240.18
LOT COVERAGE(%)	39.47
No. OF STOREYS	2
MEAN HEIGHT(m)	10.15
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND	
FFE FINISHED FLOOR ELEVATION	☒ SUMP PUMP
TFW TOP OF FOUNDATION WALL	☒ BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	☒ CABLE PEDESTAL
USF UNDER SIDE FOOTING	☒ CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	☒ RDC CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	☒ ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	☒ HYDRO CONNECTION
TEF HLL STREET LIGHT	☒ FIRE HYDRANT
R NUMBER OF FEETRS TO GRADE	☒ STREET LIGHT
WOD WALKOUT DECK	☒ MAIL BOX
LOB LOCKOUT BASEMENT	☒ TRANSFORMER
WOB WALK OUT BASEMENT	☒ SEWER CONNECTIONS 2 LOTS
WUB WALK UP BASEMENT	☒ SEWER CONNECTIONS 1 LOT
REV REVERSE PLAN	☒ WATER CONNECTION
STD STANDARD PLAN	☒ WATER VALVE CHAMBER
△ DOOR	☒ HYDRANT AND VALVE
○ WINDOW	☒ HYDRO METER
☒ AIR CONDITIONING	☒ GAS METER
☒ DOWN SPOUT TO SPLASH PAD	☒ MANHOLE - STORM
☒ DOWNSPOUT CONNECTED TO STM	☒ MANHOLE - SANITARY
→ SWALE DIRECTION	☒ CHAINLINK FENCE
—XX— PRIVACY FENCE	☒ FOOTING TO BE EXTENDED TO CORNER WITH INCREASING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SHEET
—XXX— SOUND BARRIER	
☒ FOOTING TO BE EXTENDED TO CORNER WITH INCREASING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SHEET	

**SKA SABOURIN KIMBLE & ASSOCIATES LTD. CONSULTING ENGINEERS**

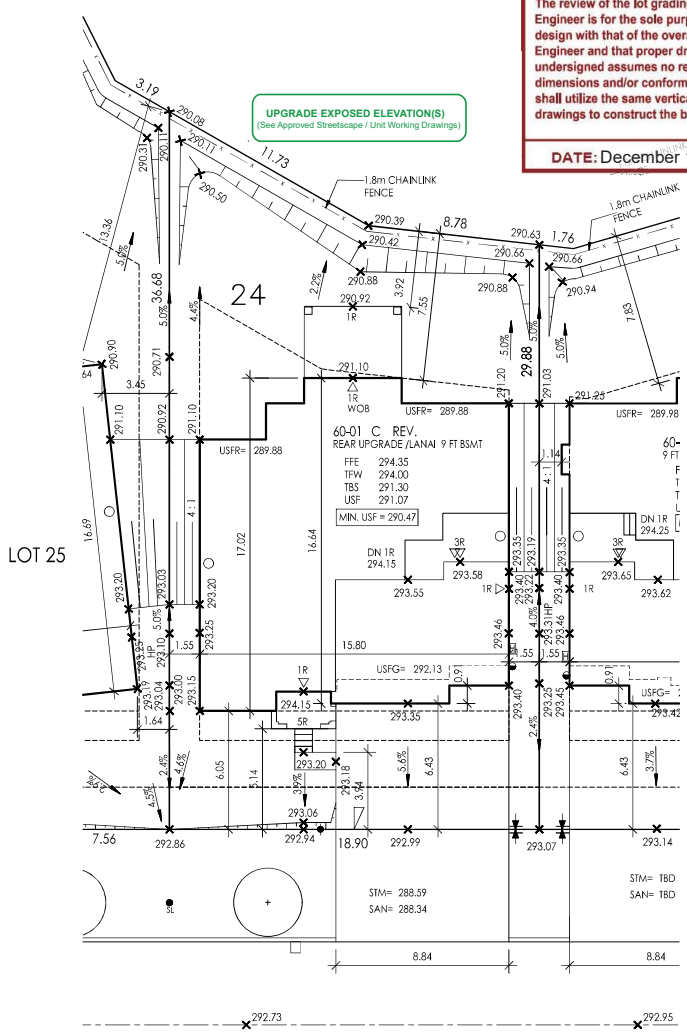
**LOT GRADING REVIEW**

**LOT(S) 24**

REVIEWED  
 REVIEWED AND MODIFIED AS NOTED  
 REVISE AND RE-SUBMIT FOR REVIEW

The review of the lot grading design of the above noted lot(s) by the Consulting Engineer is for the sole purpose of ascertaining general conformance of the design with that of the overall lot grading design as prepared by the Consulting Engineer and that proper drainage principles have been observed. The undersigned assumes no responsibility for the correctness of building dimensions and/or conformity to any applicable zoning by-laws. The builder shall utilize the same vertical control datum as noted on the engineering drawings to construct the building units and lot grading.

DATE: December 1, 2023 BY: *V. Lavigne*



**ISSUED OR REVISION COMMENTS**

NO.	DESCRIPTION	DATE	DAWN	CHK.
1	ISSUED FOR REVIEW	21-JULY-23	PP	RP
2	ISSUED FINAL	05-AUG-23	PP	INC
3	REVISED PER CITY COMM - FINAL	23-NOV-23	PP	INC
4	ISSUED FINAL	05-DEC-23	PP	INC

**IMPORTANT FOOTING NOTE:**

- IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.
- LOT GRADING PLANS ASSUME A RES TO FOOTING DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".
- IF ADDITIONAL FOOTING THICKNESS IS REQUIRED, THE LIFT IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:
  - UP TO 9" FOOTING, LOWER USF BY 0.07
  - 10" FOOTING, LOWER USF BY 0.10
  - 11" FOOTING, LOWER USF BY 0.13
  - 12" FOOTING, LOWER USF BY 0.15
  - 13" FOOTING, LOWER USF BY 0.18
  - 14" FOOTING, LOWER USF BY 0.20

**RN DESIGN**

WWW.RNDESIGN.COM  
 T:905-738-3177  
 WWW.THEPLUSGROUP.CA

**MUNICIPAL ADDRESS:-  
88 SUNNY ACRE CRESCENT**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (fitting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*  
 DATE: DEC 05 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER SIGN: *[Signature]* 21032  
 FIRM SIGN: 26995  
 DATE: **DEC-5-2023**

SIGNATURE: *[Signature]*

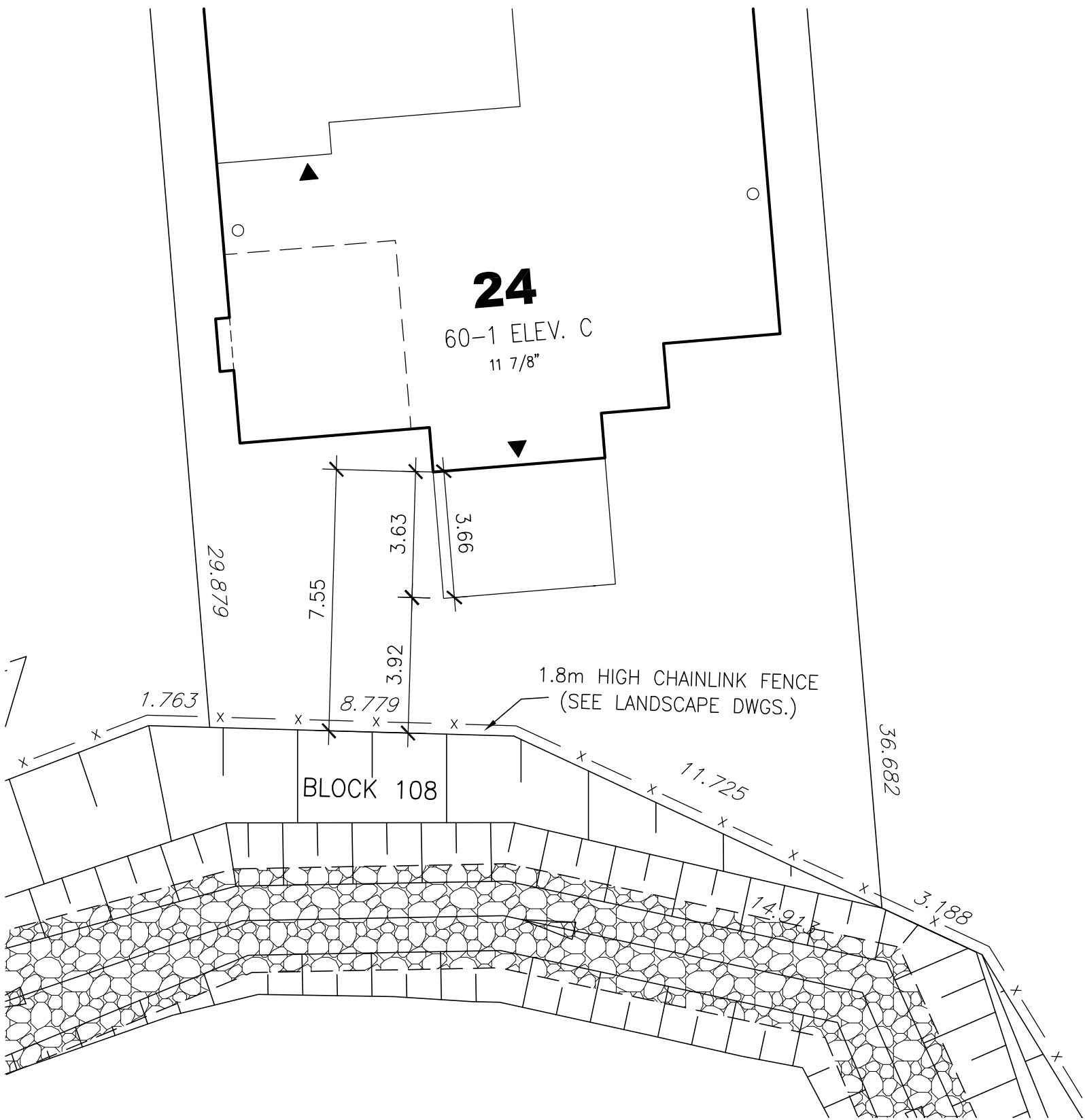
CLIENT: **TREASURE HILL HOMES**

PROJECT/LOCATION: **SCOUKI KING CITY, ONTARIO**

DRAWING: **SITE PLAN**

DRAWN BY: **PP** SCALE: **1:250**

PROJECT NO.: **19038** LOT NUMBER: **LOT 24**

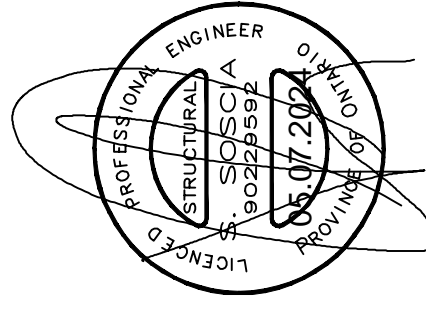


I, NELSON CUNHA, DECLARE THAT I HAVE REVIEWED AND TAKEN FULL RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE ARCHITECTURAL FIRM AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER ECIN: 21039  
 FIRM ECIN: 24895  
 DATE: 2024  
 DATEOUT: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

It is the builder's complete responsibility to fully comply with the Architectural Guidelines including zoning provisions and any provisions of the Building Code. The Architect is not responsible for any errors or omissions in any drawings or specifications or for examining or approving site (lotting) plans or for any other matter or for the building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines as approved by the City of AURORA.

**JOHN E. WILKINS LTD. ARCHITECT**  
**ARCHITECTURAL CONTROL BOARD**  
 APPROVED BY: \_\_\_\_\_  
 DATE: **MAX 15, 2024**  
 This stamp certifies compliance with the applicable Design Guidelines and the Architect's professional responsibility to further the public interest.



#	REVISIONS	DATE	OWN	CHK
7	ISSUED FOR CLIENT REVIEW	4/16/24	SPB	HC

client: **Treasure Hill Home Corp.**

project: **Scouli Developments Inc.**  
King City

model: **60-1**

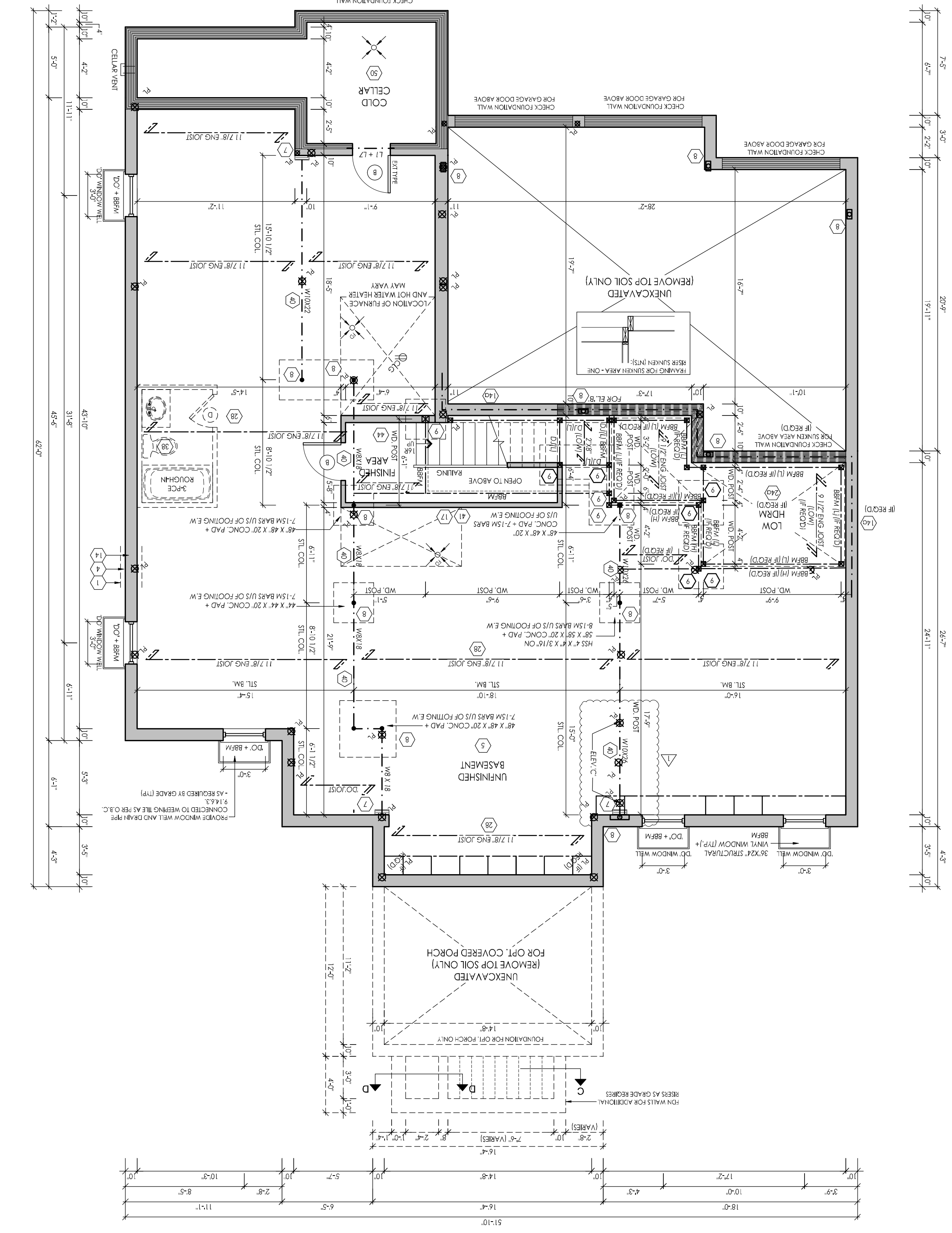
project #: **19038**

scale: **3/16" = 1'-0"**

page: **A1**

**BASEMENT PLAN ELEV. 'A'**

DRINKS REFER TO FLOOR JOIST LAYOUT AND SPACING  
 4'-8" DOOR IN BASEMENT





I, NELSON CUNHA, DECLARE THAT I HAVE REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE ARCHITECT. I AM A REGISTERED ARCHITECT IN THE PROVINCE OF ONTARIO AND THE FRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

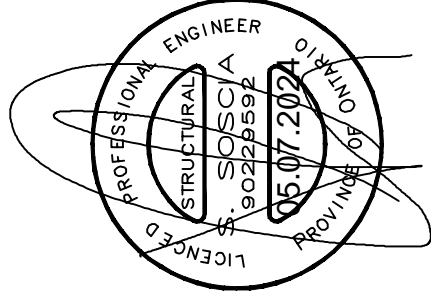
QUALIFIED DESIGNER ECIN:  
FRM NO. 21030  
DATE: 24/05/2024  
DATEOUT:

SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval and all applicable regulations and requirements are followed. The Architect is not responsible for any errors or omissions in the drawings or for any zoning or working drawings with respect to any zoning or building code. The Architect's professional liability insurance can be properly built or located on this.

This is to certify that these plans comply with the guidelines approved by the City of AURORA.

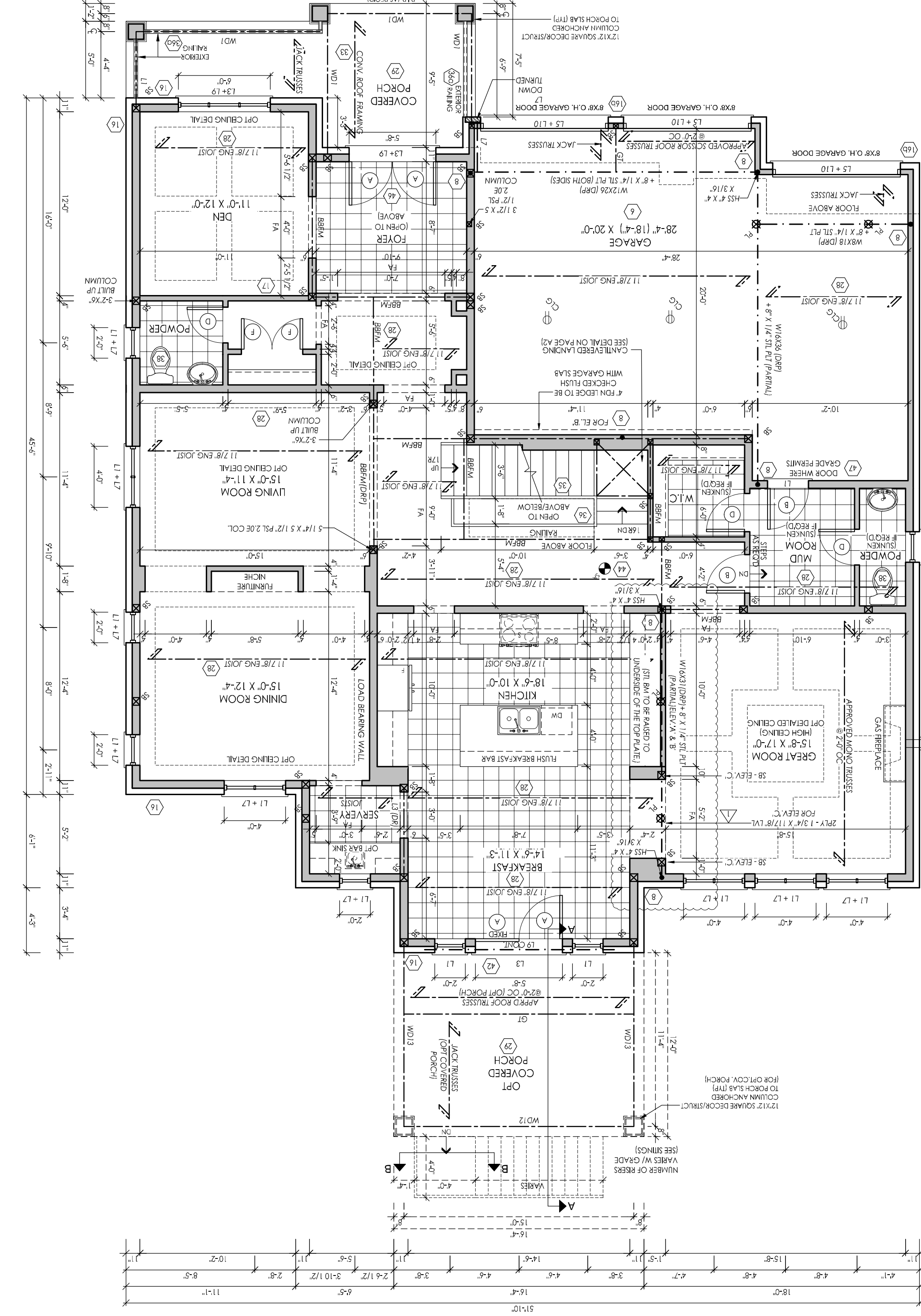
APPROVED BY:  
ARCHITECTURAL CONTROL REVIEW  
JOHN C. WILLIAMS LTD., ARCHITECT  
DATE: MAR 14, 2024  
This design is for informational purposes only and does not constitute a professional responsibility.



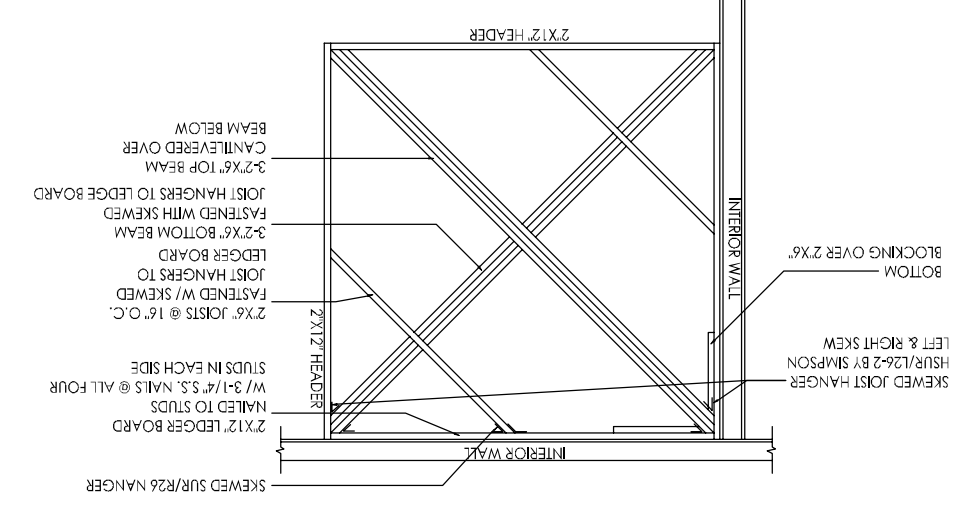
#	revisions	date	own	chk
7	ISSUED FOR CLIENT REVIEW	4/16/2024	SPB	HC

Client: Treasure Hill Home Corp.  
Project: Scouli Developments Inc. King City  
Model: 60-1  
Project #: 19038  
Scale: 3/16" = 1'-0"  
Page:

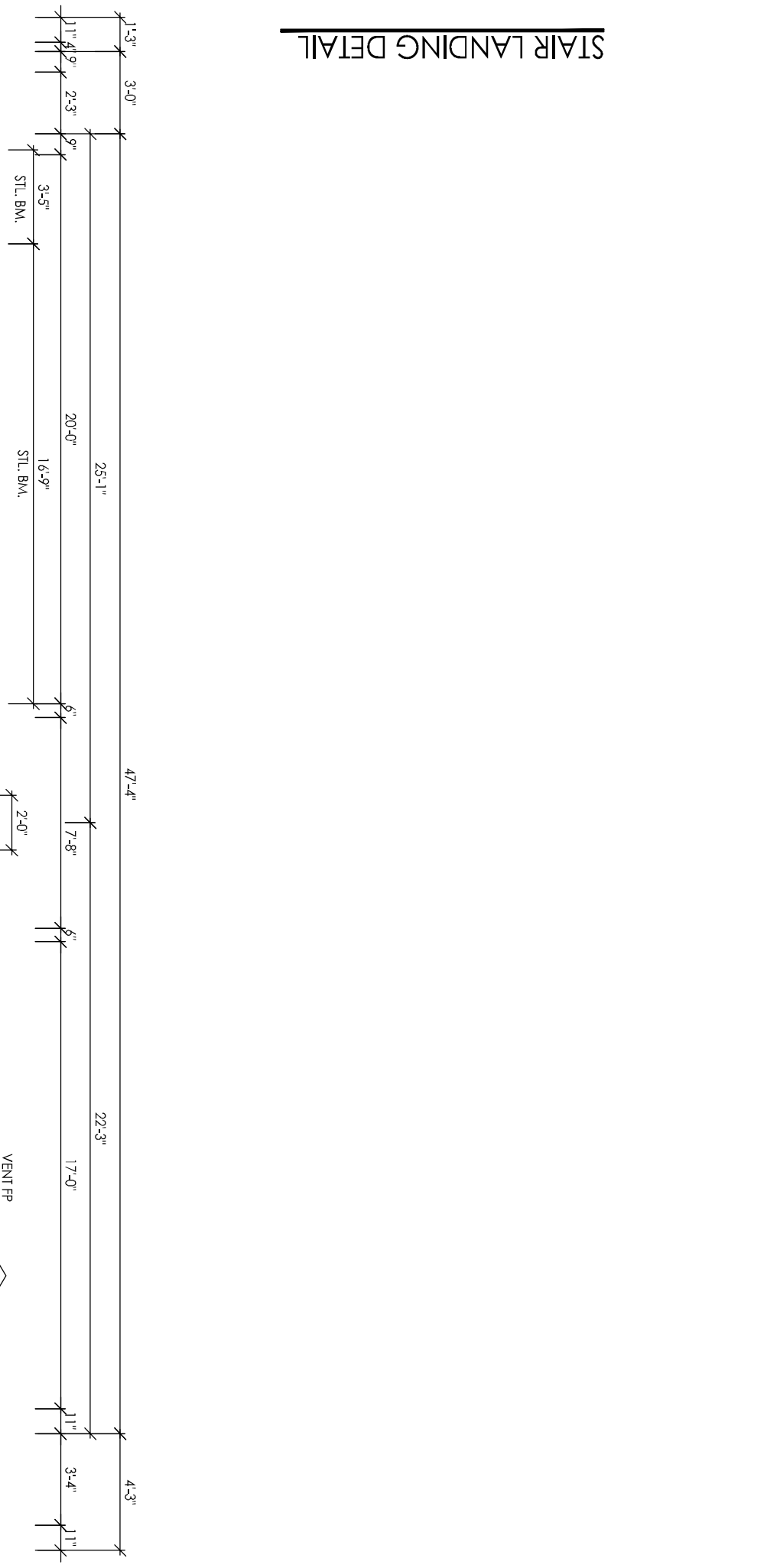
- NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR LAYOUT AND SPACING.
- NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.
- NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK.
- NOTE: INTERIOR DOORS ON MAIN.



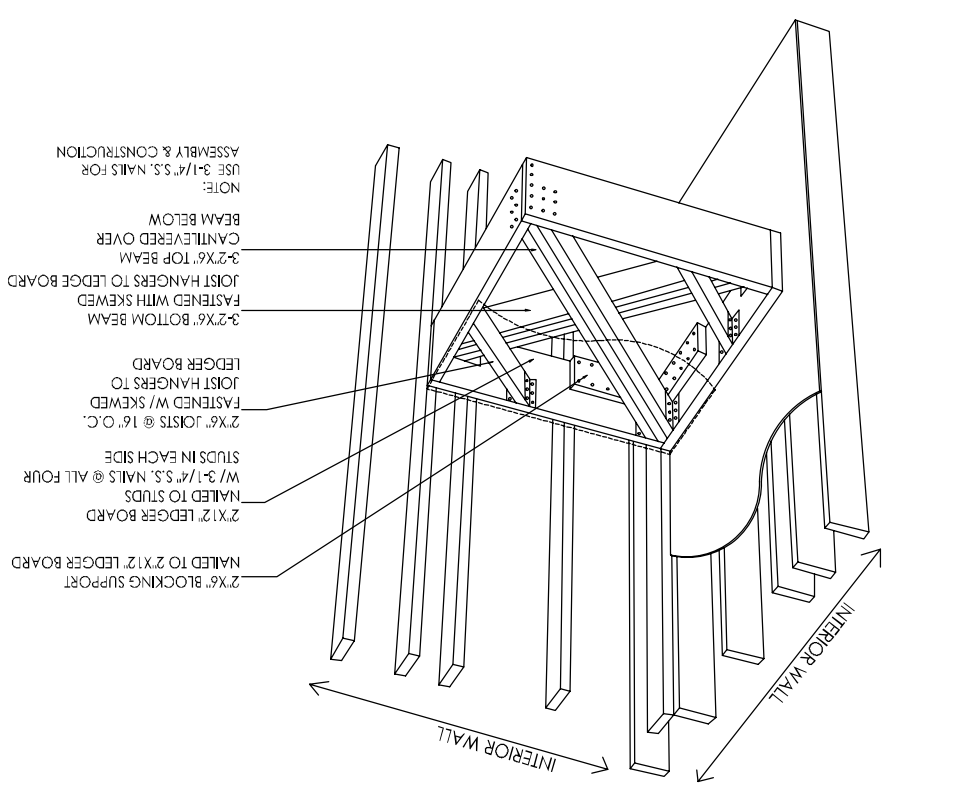
SELF SUPPORTING STAIR LANDING @ INTERIOR WALLS  
PLAN VIEW



STAIR LANDING DETAIL



SELF SUPPORTING STAIR LANDING @ INTERIOR WALLS





I, NELSON CUNHA, DECLARE THAT I HAVE REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE ARCHITECT OF RECORD. I AM A REGISTERED ARCHITECT IN THE PROVINCE OF ONTARIO AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032  
FIRM BCIN: 24895  
DATE: DATE  
DATE: DATE

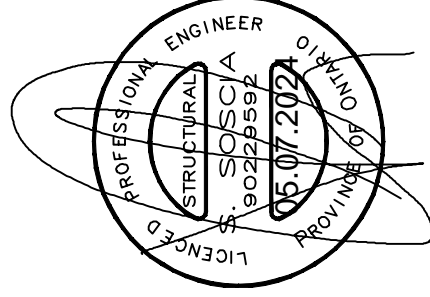
SIGNATURE: \_\_\_\_\_

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with all applicable regulations and requirements of the Building Code. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES. The Architect is not responsible in any way for working drawings with respect to any zoning or building code requirements that may apply to the house can be properly built or located on its lot.

This is to certify that these plans comply with the guidelines approved by the City of AURORA

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

DATE: \_\_\_\_\_  
This design complies with the applicable design guidelines and is not subject to further professional responsibility.



#	ISSUED FOR	DATE	OWN	CHK
7	ISSUED FOR CLIENT REVIEW			

client: **Treasure Hill Home Corp.**

project: **Scouli Developments Inc.**  
King City

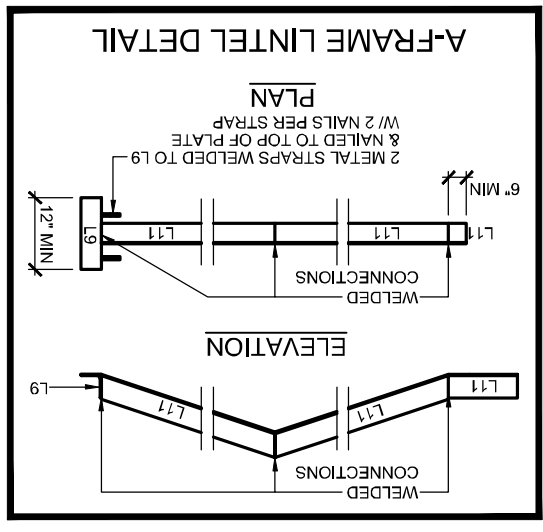
model: **60-1**

project #: **19038**

scale: **3/16" = 1'-0"**

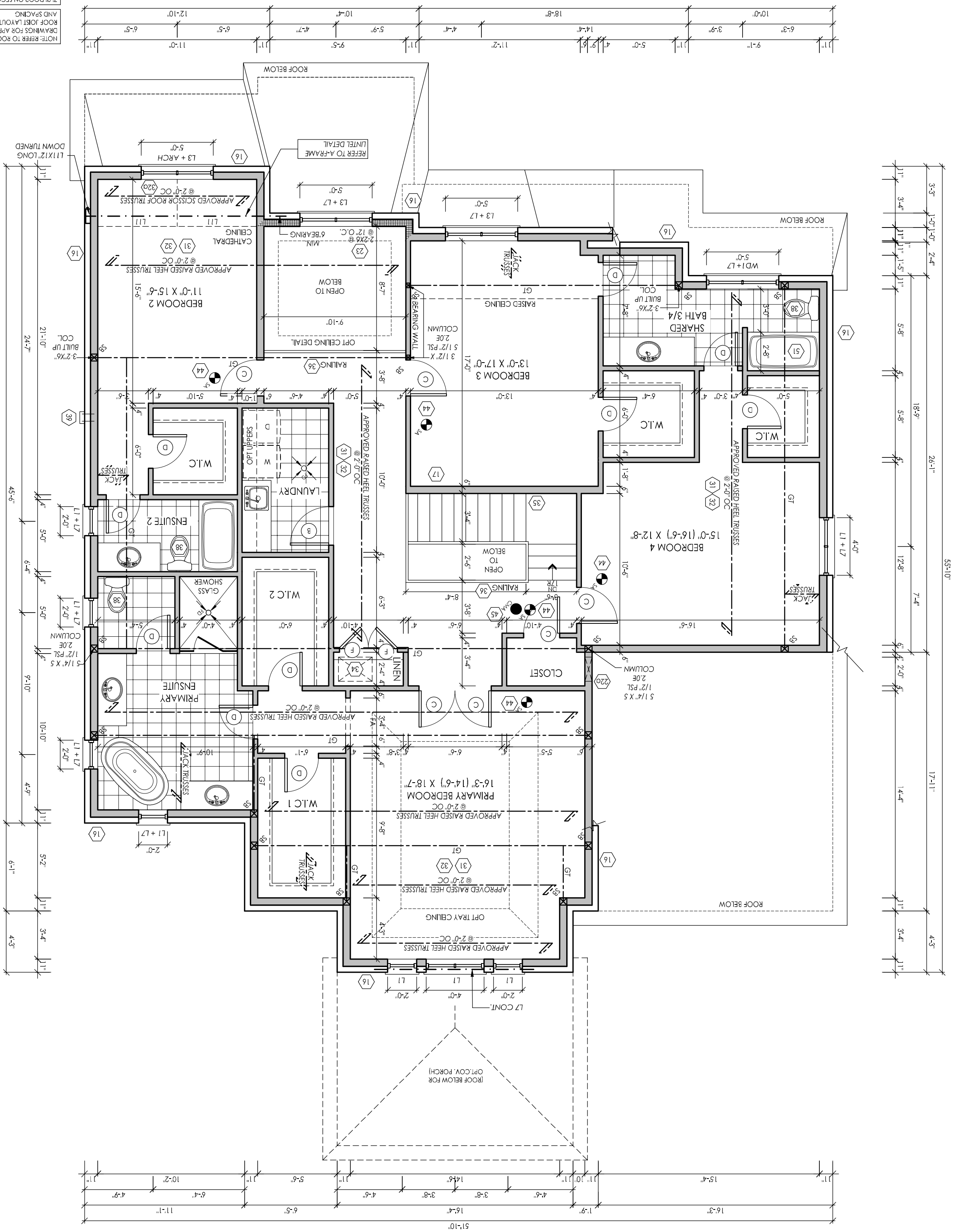
page: \_\_\_\_\_

**SECOND FLOOR PLAN ELEV. 'A'**



NOTE: REFER TO ROOF JOIST DRAWINGS FOR APPROVED ROOF JOIST LAYOUT AND SPACING

7'-0" DOOR ON SECOND FLOOR



I, NELSON CUNHA, DECLARE THAT I HAVE REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY FIRM AND I AM A REGISTERED ARCHITECT UNDER THE BUILDING CODE I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

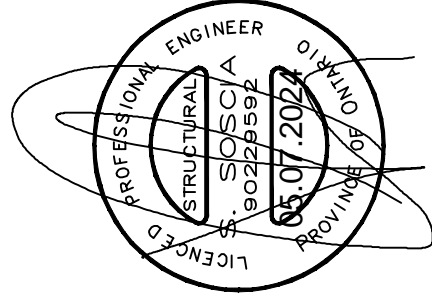
QUALIFIED DESIGNER SIGN: 21032  
FIRM SIGN: 24895  
DATE: DATEOUT

SIGNATURE: \_\_\_\_\_

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with all applicable regulations and requirements and all applicable regulations and requirements in the jurisdiction of approval. The Council Architect is not responsible in any way for working drawings with respect to any zoning or building code requirements that may apply to a house can be properly built or located on its lot.

This is to certify that these plans comply with the guidelines approved by the City of AURORA

JOHN G. WILKINS LTD. ARCHITECT  
ARCHITECTURAL CONTROL BOARD  
AND APPROVAL  
APPROVED BY: \_\_\_\_\_  
DATE: Max 15, 2024  
This stamp certifies compliance with the applicable Design Guidelines approved by the City of Aurora. It does not confer any further professional responsibility.



#	ISSUED FOR CLIENT REVIEW	DATE	DATE	BY	CHK
1		4/6/20		JPG	NC

client: **Treasure Hill Home Corp.**

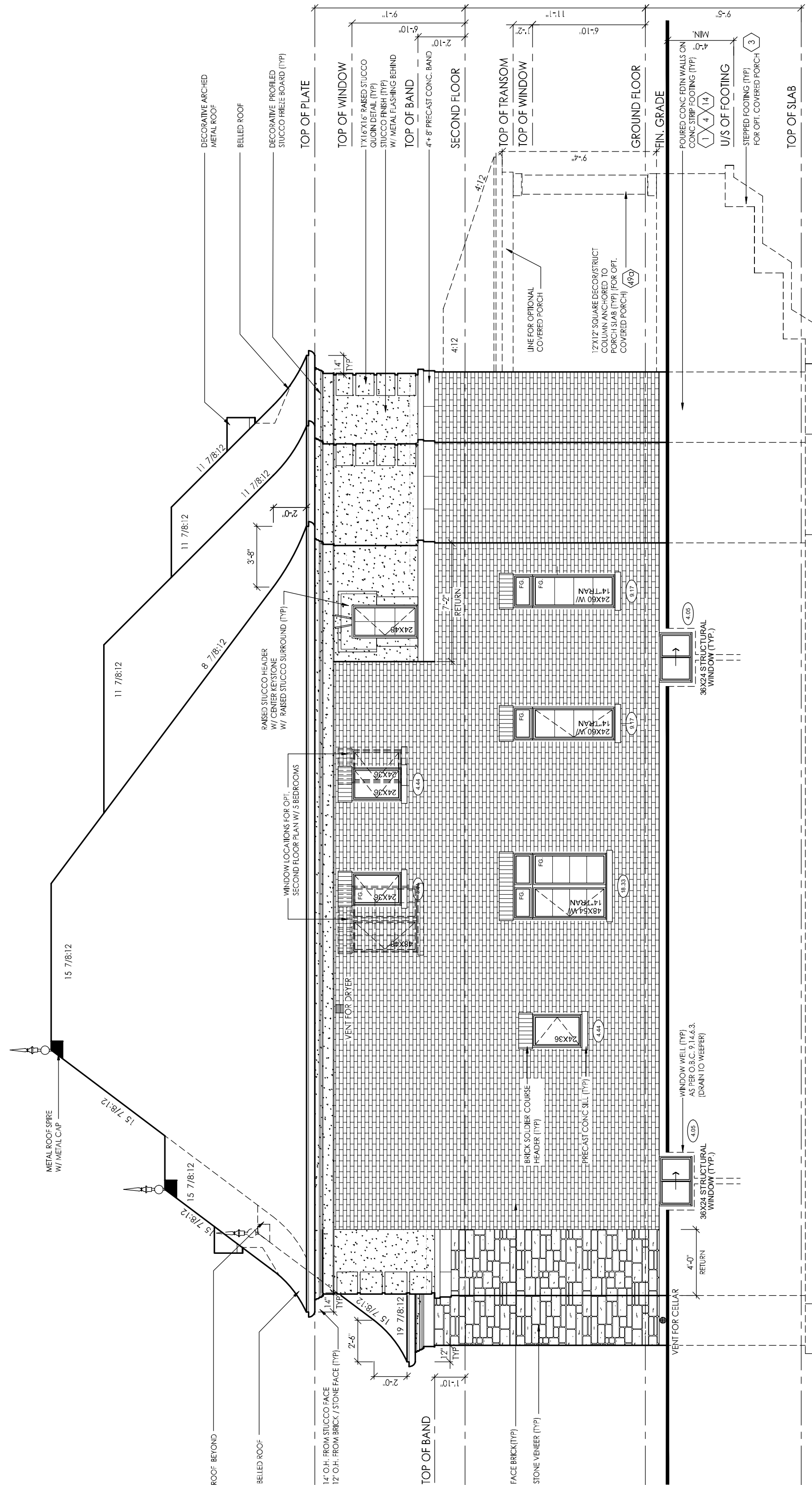
project: **Scouli Developments Inc.**  
King City

model: **60-1**

project #: **19038**

scale: **3/16" = 1'-0"**

page: **A18**



RIGHT SIDE ELEVATION 'C'

ALLOWABLE UNPROTECTED OPENINGS		ALLOWABLE UNPROTECTED OPENINGS	
Total Wall Area	1100.47 SF	102.24 SF	102.24 S.M.
Limiting Distance	3.93 FT	1.2 M	7.00 M
Allowable Openings	77.03 SF	7.14 S.M.	7.16 S.M.
Actual Openings	74.00 SF	6.94 S.M.	6.87 S.M.

OPT. 5 BEDROOM





I, NELSON CUNHA, DECLARE THAT I HAVE REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE ARCHITECT OF RECORD. I AM A REGISTERED ARCHITECT UNDER THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

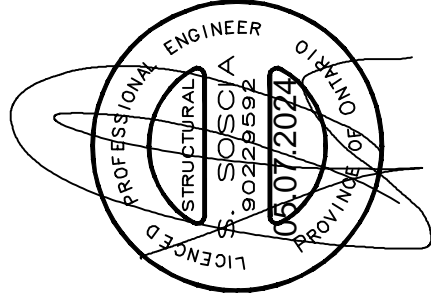
QUALIFIED DESIGNER SIGN: 21032  
FIRM SIGN: 24895  
DATE: \_\_\_\_\_  
DATEOUT: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

It is the builder's complete responsibility to ensure that the construction of the building fully complies with the Architectural Guidelines and all applicable codes and regulations, including zoning regulations and any provisions in the subdivision agreement. The Control of Construction Act requires that the builder examine or approve any site (filling) plans or building plans submitted to the City of Aurora building code or permit officer or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Aurora.

JOHN C. WILLIAMS, LTD., ARCHITECT  
ARCHITECT  
APPROVED BY: \_\_\_\_\_  
DATE: May 14, 2024  
This stamp certifies compliance with the applicable Design Guidelines and does not further certify professional responsibility.



#	ISSUED FOR CLIENT REVIEW	DATE	BY	CHK
1		4/26/24	JPG	
2				
3				
4				
5				
6				
7				

client

Treasure Hill  
Home Corp.

project

Scouli Developments Inc.

King City

model

60-1

project #

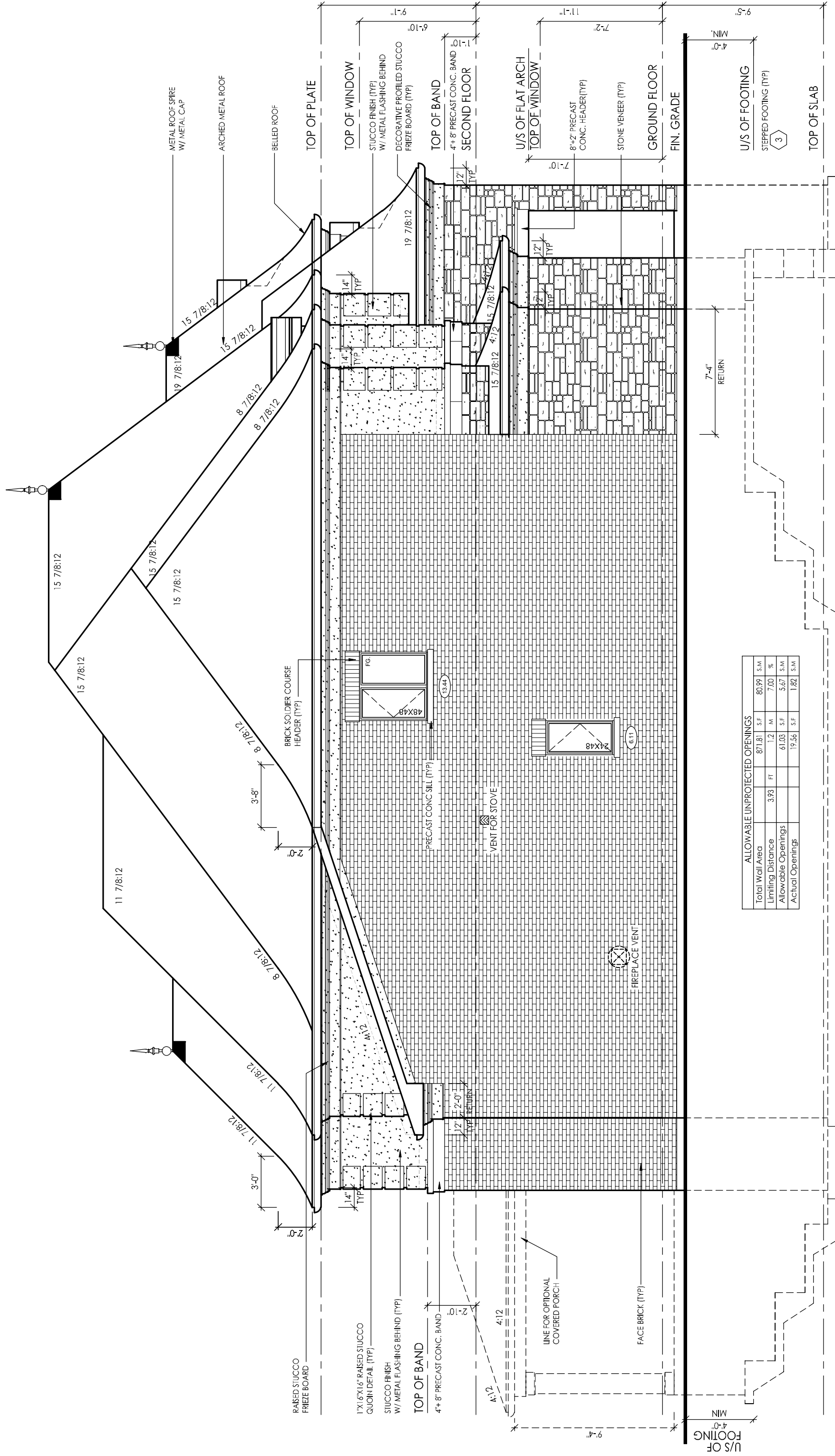
19038

scale

3/16" = 1'-0"

page

A20



LEFT SIDE ELEVATION 'C'





**NOTICE OF PUBLIC HEARING**  
**Minor Variance Application File No. A-24-50**  
(The *Planning Act*, 1990, as amended subsection 45(5))  
**This public meeting will be held Hybrid (In-person and virtual participation)**  
Live streamed at: <https://www.king.ca/cofameetings>

**NOTICE IS HEREBY GIVEN THAT** the following application will be heard before the Committee of Adjustment on:

**WEDNESDAY, NOVEMBER 20, 2024 AT 6:00 P.M.**

**PUBLIC PARTICIPATION**

We ask for written correspondence to be submitted by noon on the Friday prior to the scheduled hearing. Written submissions can be emailed to [cofa@king.ca](mailto:cofa@king.ca), please quote file number in subject line.

Anyone wishing to speak to the Committee of Adjustment virtually, must register by contacting the Secretary Treasurer at [cofa@king.ca](mailto:cofa@king.ca) no later than noon on the Friday prior to the scheduled hearing. When your request to speak is received, a confirmation message and instructions for providing a deputation virtually at the meeting will be provided.

Anyone wishing to speak to the Committee of Adjustment in-person, should register by contacting the Secretary Treasurer at [cofa@king.ca](mailto:cofa@king.ca). You may also register at the hearing in Council Chambers by completing a deputation registration form and providing it to the Secretary Treasurer.

You can watch a live stream of the hearing at [king.ca/cofameetings](http://king.ca/cofameetings) (this link will not allow you to speak during the meeting).

**SUBJECT APPLICATION:**

- Address:** 204 Hollingsworth Drive, King City  
Plan 502, Lot 44
- Ward:** 1
- Applicant:** Gurvir Pahal
- Agent:** Lucas Cocomello, Schillerco Ltd.
- Zoning:** By-law 2017-66, as amended “R1D – Residential Single Detached ‘D’”

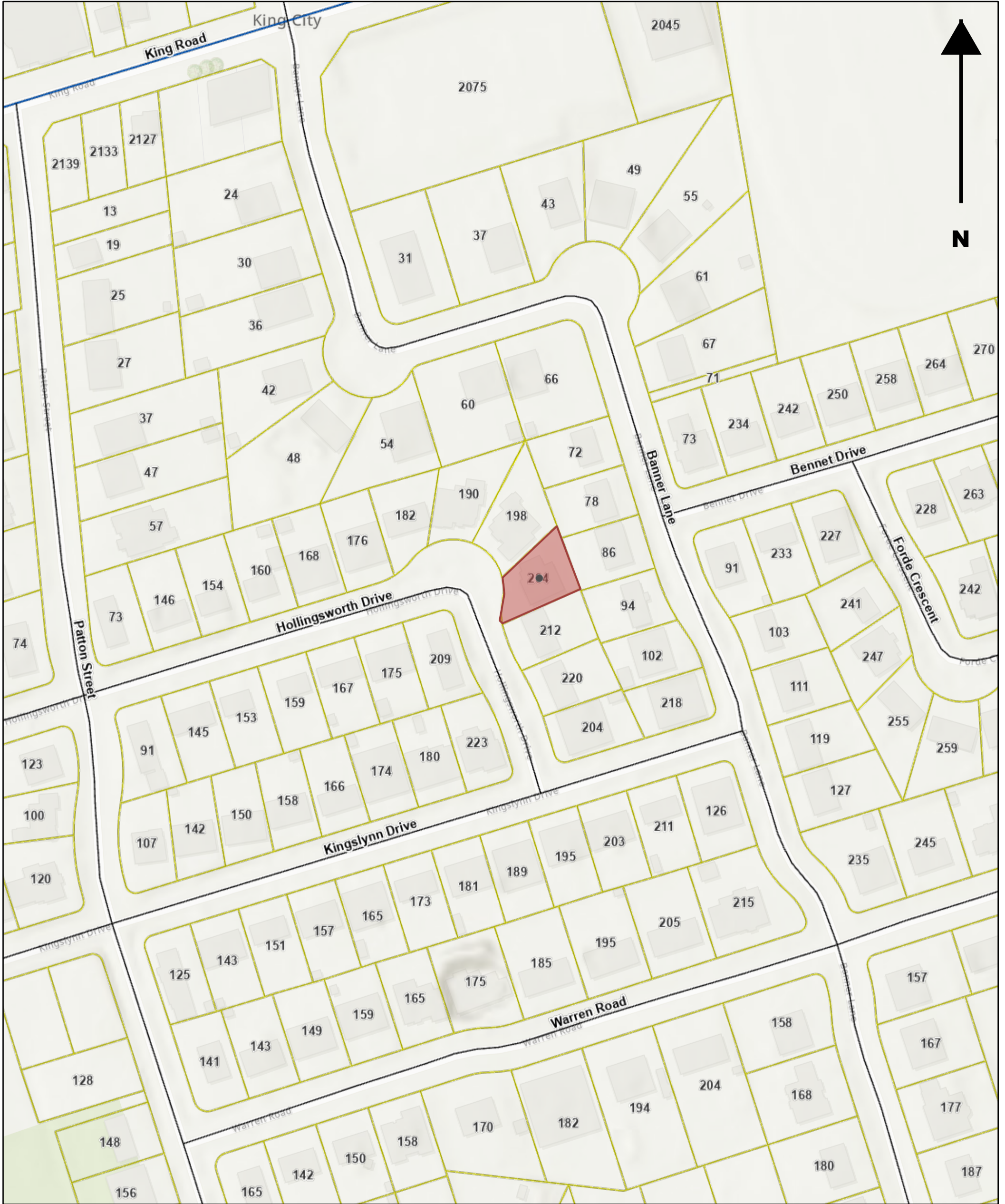
**APPLICATION REQUEST:**

The applicant is seeking relief from interior side yard setbacks and total lot coverage provisions to facilitate the construction of a proposed cabana (accessory structure).



#	Zoning By-law #2017-66, as amended	Variance request:
1	<b>Section 3.2.2 a)</b> requires that no accessory building or structure shall be built closer to the front lot line or side lot line than the minimum distance required by the By-law for the main building on the lot.  <b>Table 6.3b – Lot and Building Requirements for the Residential Zones (Single Detached Dwellings)</b> requires a minimum interior side yard of 3.6 metres, where the building height is greater than 6.0 metres, for the main building on the lot in the R1D zone.	Relief from <b>Section 3.2.2 a)</b> of Zoning By-Law 2017-66 to permit an interior side yard setback of 1.19 metres for the proposed cabana (accessory structure), whereas the By-law establishes a minimum interior side yard setback of 3.6 metres as required in Table 6.3b.
2	<b>Table 6.3b – Lot and Building Requirements for the Residential Zones (Single Detached Dwellings)</b> requires a Maximum Lot Coverage of 30% within the R1D zone.	Relief from <b>Table 6.3b</b> to permit a maximum lot coverage of 35.17% (298.26 m <sup>2</sup> ), whereas the By-Law establishes a Maximum Lot Coverage of 30%.

**PLEASE REFER TO THE ATTACHED SKETCHES FOR THE LOCATION OF THE LAND AND PROPOSED PLANS.**

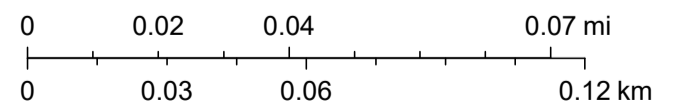
# A-24-50: Location Map



2024-10-23, 2:43:35 p.m.

-  Override 1
-  Parcel Fabric

1:2,257



Esri Community Maps Contributors, Province of Ontario, York Region, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCan, Parks Canada, Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA,



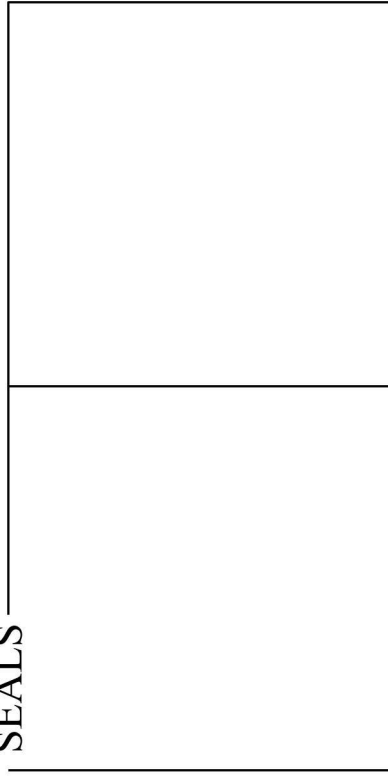
**NOTES**

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS (I.E. FLOOR LAYOUT, TRUSS LAYOUT) BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION
1	MAY 31 2024	ISSUED FOR REVIEW

**SEALS**




**SCHILLERCO**  
 340 CHURCH STREET  
 OAKVILLE, ON L6J 1P1  
 PHONE: 905-822-1666  
 EMAIL: TRAVIS@SCHILLERCO.CA

**CLIENT**  
 PRIVATE RESIDENCE

**PROJECT**  
 204 HOLLINGSWORTH DRIVE, KING CITY, ON.,

**PAGE**  
 SITE PLAN

APPROVED BY:	TS
DATE:	MAY 2024
PROJECT No.	2024SE185

**A1.0**

**SCOPE OF WORK**

PROPOSED CABANA

**SITE STATISTICS**

METRIC	IMPERIAL
LOT AREA	9129.12 S.F.
EX. HOUSE COVERAGE*	2685.98 S.F.
EX. PORCH AREA*	49.67 S.F.
EX. REAR PATIO AREA	81.93 S.F.
NEW CABANA AREA*	474.83 S.F.
COVERAGE*	3210.48 S.F.

**ZONING INFORMATION**

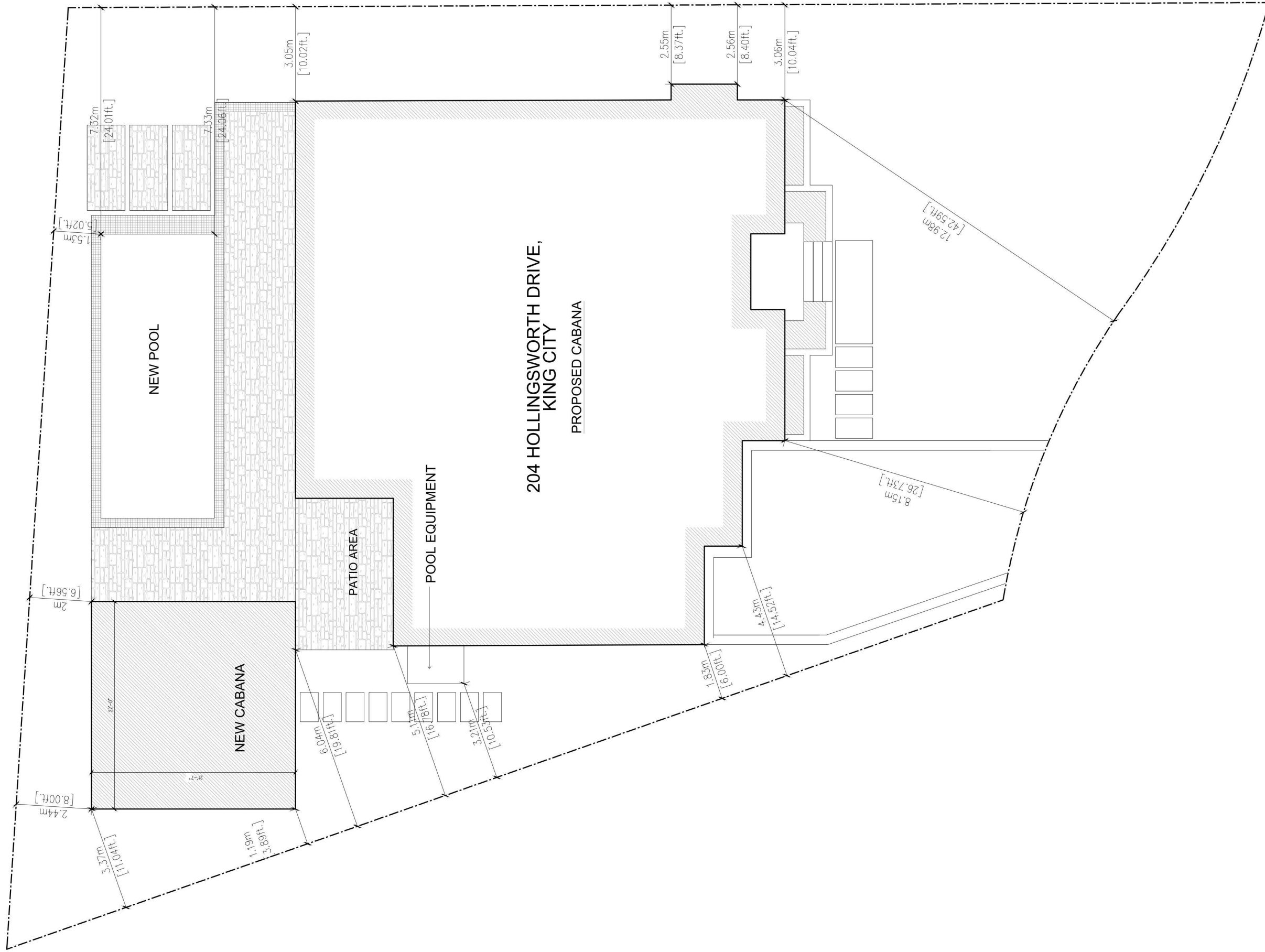
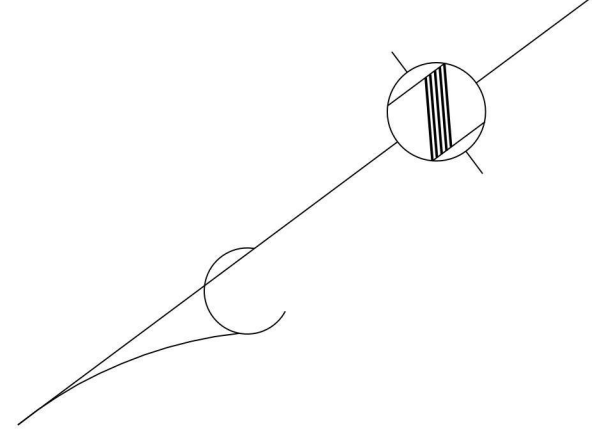
ZONE	ZONING	PROPOSED
	R1D	
LOT AREA	EXISTING	EXISTING
FRONTAGE	21.00M	EXISTING
FRONT YARD	7.50M	EXISTING
SIDE YARD	3.60M	1.19M PROP.
SIDE YARD	3.60M	10M+ PROP.
REAR YARD	1.20M	2.0M PROP.
COVERAGE	30.00%	35.17% PROP.
MAX HEIGHT	9.00M/4.5M	EXISTING/3.82M
LOT PERVIOUS AREA	45%	44.22%

**LOT PERVIOUS AREA(44.22%)**

REAR YARD AREA	848.12 S.M.	9129.12 S.F.
EX. HOUSE COVERAGE	249.54 S.M.	2685.98 S.F.
EX. REAR PATIO AREA	7.61 S.M.	81.93 S.F.
NEW CABANA AREA	44.11 S.M.	474.83 S.F.
NEW LANDSCAPE STONE	56.83 S.M.	611.75 S.F.
NEW COPING SURROUND	11.65 S.M.	125.44 S.F.
NEW SIDE YARD PATIO STONE	4.98 S.M.	53.64 S.F.
EX. PLANTER WALL AREA	2.64 S.M.	28.38 S.F.
EX. FRONT YARD WALKWAY STONE	6.55 S.M.	70.49 S.F.
EX. DRIVEWAY AREA	31.81 S.M.	34.24 S.F.
	57.32 S.M.	616.99 S.F.

GRASS AREA 375.08 S.M. 4345.45 S.F.

**NORTH ARROW**





*Requests for additional information must be emailed to the Secretary-Treasurer at [COFA@King.ca](mailto:COFA@King.ca) or visit the Planning Department at the Municipal Centre from Monday - Friday, 8:30 a.m.–4:30 p.m*

**IMPORTANT INFORMATION**

**IMPORTANT NOTICE TO OWNER AND/OR AGENT:** It is required that the owner or the authorized agent of the owner make personal representation at the hearing. If you do not attend or are not represented at this hearing, the Committee may: defer the hearing to a date and time convenient to the Committee; may proceed in your absence to make a decision; or may consider the application to have been abandoned or withdrawn and close the file and you will not be entitled to any further notice in the proceedings.

**PUBLIC RECORD:** Personal information collected because of this public meeting is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete the attached Request for Decision Form and submit to [cofa@king.ca](mailto:cofa@king.ca). In the absence of a written request to be notified of the Committee’s decision you will not receive notice of future hearings on this application.

**APPEALING TO THE ONTARIO LAND TRIBUNAL (OLT):**  
*(The Planning Act, R.S.O. 1990, as amended, Section 45)*

To appeal the decision to the Ontario Land Tribunal (OLT) send a letter to the Secretary-Treasurer for the Township of King Committee of Adjustment outlining the reasons for the appeal, along with the OLT A1 Appeal Form. You must enclose the appeal fee of \$400.00 for each application appealed, paid by certified cheque, made payable to the Minister of Finance. In addition, please note that there is an Appeal Processing Fee of \$824.00 (per application) which is payable to King Township.

Only the applicant/owner, the municipality, or certain public bodies may no later than 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT). When no appeal is lodged within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

For further information, please contact the Secretary-Treasurer, Township of King Committee of Adjustment at [cofa@king.ca](mailto:cofa@king.ca) or 905-833-5321 from 8:30 a.m. to 4:30 p.m.

**NOTICE REQUIREMENTS FOR LANDLORDS & CONDOMINIUM CORPORATIONS:** In accordance with Ontario Regulation 197/96 if you own a building that contains more than 7 (seven) residential units, you must post this public notice in a location that is visible to all residents within your building. In accordance with the Condominium Act, a corporation that is served with a notice under the Planning Act shall notify all persons whose names are in the record of the corporation maintained under subsection 47 (2) and shall make a copy of the notice available for examination.

**DATE OF PUBLIC NOTICE:** November 07, 2024

Adriana Bozzo, Secretary-Treasurer  
Committee of Adjustment  
Planning Division  
King Township





**REQUEST FOR DECISION A-24-50**

To be notified of the Committee’s decision or a related Ontario Land Tribunal (OLT) hearing you must complete this form and submit to the Secretary Treasurer, Committee of Adjustment at [CofA@King.ca](mailto:CofA@King.ca)

Please provide a copy of the Committee’s Decision with respect to :

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Postal Code: \_\_\_\_\_

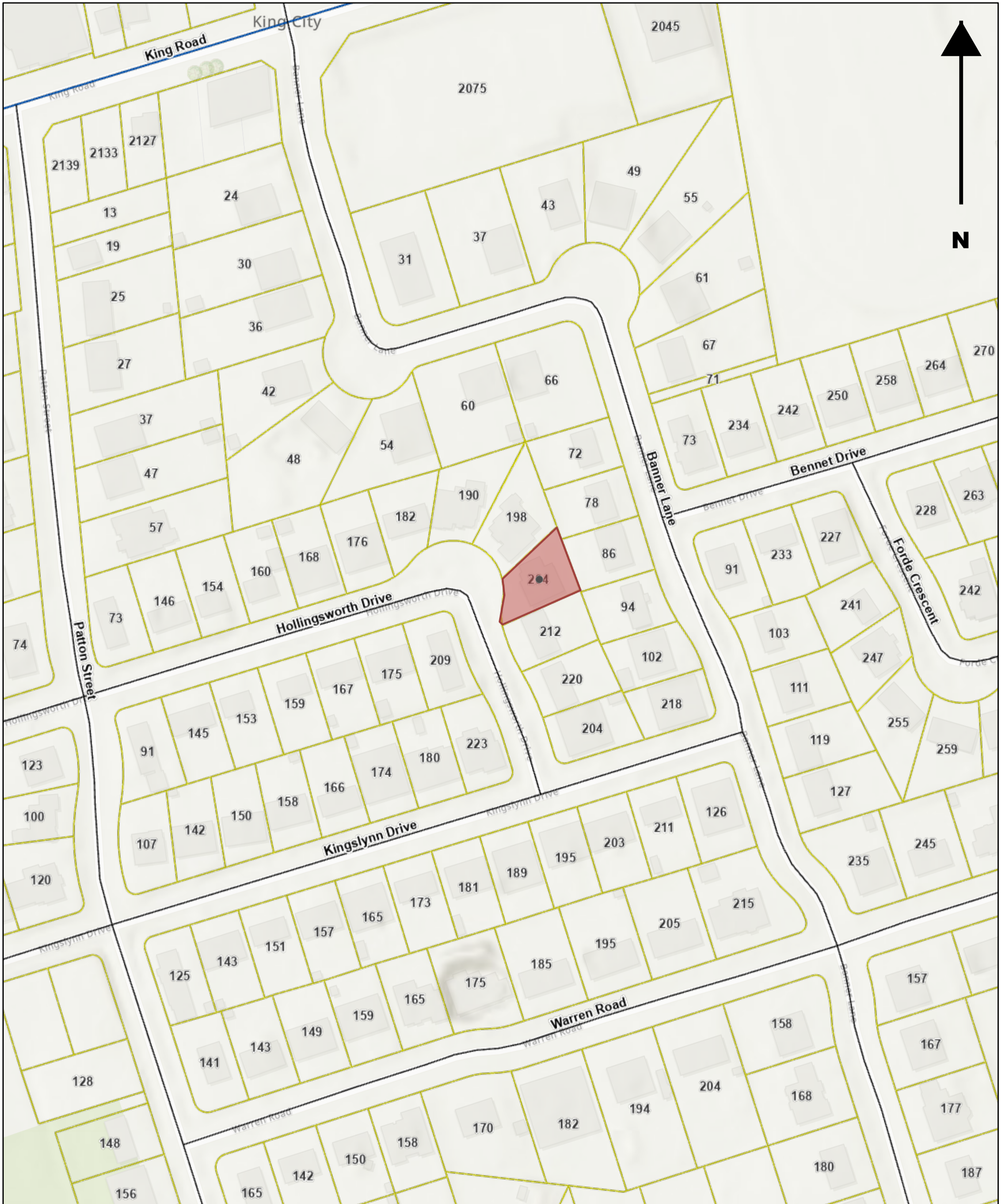
Phone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Date Request Submitted: \_\_\_\_\_

\*Please print and ensure form is legible

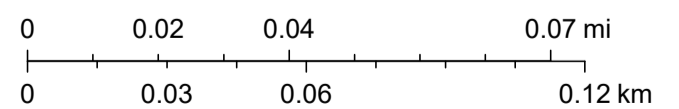
# A-24-50: Location Map



2024-10-23, 2:43:35 p.m.

-  Override 1
-  Parcel Fabric

1:2,257



Esri Community Maps Contributors, Province of Ontario, York Region, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCan, Parks Canada, Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA,

# APPLICATION FOR MINOR VARIANCE OR PERMISSION

---



TOWNSHIP OF KING  
PLANNING DIVISION  
2585 KING ROAD  
KING CITY, ONTARIO  
L7B 1A1

(905) 833-5321



King Township  
2585 King Road  
King City, Ontario  
Canada L7B 1A1

Phone: 905.833.5321  
Fax: 905.833.2300  
Website: [www.king.ca](http://www.king.ca)

### **MINOR VARIANCE APPLICATION GUIDE**

This Minor Variance Application Guide has been prepared for your information. It provides a general outline of the Minor Variance process and requirements.

1. The fee for an application to the Committee of Adjustment is in accordance with Fees By-law. This fee must be paid at the time of submission of the application and is payable to the **Township of King**.
2. All applications must be commissioned by a commissioner of oaths prior to submission.
3. The Application must be completed by the registered owner(s) of the property or his/her agent and returned to the Secretary-Treasurer of the Committee of Adjustment. Where such application is being made by an agent, the written authorization of the owner(s) must accompany the application. For your convenience, an authorization form has been included as part of the Application.
4. The Committee of Adjustment Application must be accompanied by a survey or a detailed sketch (in metric) which shows the following:
  - (a) boundaries and dimensions of the entire property;
  - (b) the location and type of all existing and proposed buildings and/or structures on the land indicating the distance of the buildings and/or structures from the Front Yard lot line, Rear Yard lot line and the Side Yard lot lines;
  - (c) the proposed division(s) of land (if applicable);
  - (d) adjacent land uses.
  - (e) the approximate location of all natural and artificial features on the land and on land that is adjacent to the subject property that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks and beds.
5. The applicant should be aware that additional Municipal Fees associated with the review process may include Township of King peer review fees which would include independent professional consultants which may be retained at the discretion of the Township to review submissions associated with the application and may include the Township's Engineer, Solicitor or Hydrogeologist, environmental consultants, landscape architects or others. Planning staff will usually be in a position to advise upon submission of the application whether such additional costs are to be anticipated.
6. Upon submission of the completed documents and the scheduling of your application on the next available date, the Secretary-Treasurer will provide a yellow identification sign which is to be posted on the property as per the instructions attached to the sign. A written notice will be circulated to the owner and/or his/her agent, selected government agencies and all landowners within 60 metres (200 ft.) of the subject lands to inform them of the time and date when the Committee of Adjustment will hold a Public Hearing regarding this application.
7. Applicants are advised that the members of the Committee of Adjustment generally undertake a site visit prior to the scheduled hearing date.





King Township  
2585 King Road  
King City, Ontario  
Canada L7B 1A1

Phone: 905.833.5321  
Fax: 905.833.2300  
Website: [www.king.ca](http://www.king.ca)

8. Following the decision of the Committee of Adjustment, there is a mandatory 20 day appeal period. If no notice of appeal is received during this period, the Decision of the Committee is final and binding. If an appeal is lodged within this period, the Secretary-Treasurer is required to forward the appeal to the Ontario Municipal Board.
9. It generally takes approximately two (2) months to complete this process. However, if an appeal is filed, an Ontario Municipal Board hearing may be required. As a result, the process may be extended by several months. A flow chart is attached herewith showing the applicable time frames.

**(THIS GUIDE MAY BE DETACHED FOR YOUR INFORMATION)**



King Township  
 2585 King Road  
 King City, Ontario  
 Canada L7B 1A1

Phone: 905.833.5321  
 Fax: 905.833.2300  
 Website: www.king.ca

**SITE SCREENING QUESTIONNAIRE**  
**CONTAMINATED SITES**

**TO BE COMPLETED WITH ALL DEVELOPMENT APPLICATIONS  
 SUBMITTED TO THE TOWNSHIP OF KING PLANNING DEPARTMENT**

This form must be completed for all development applications where a Phase 1 Environmental Site Assessment in accordance with the Ministry of Environment and Energy's Guideline for Use at Contaminated Sites in Ontario **is not provided**.

**SUBJECT LANDS:**

Registered Owner: Gurvir Pahal

Township Lot: \_\_\_\_\_ Concession: \_\_\_\_\_

Part/Lot: \_\_\_\_\_ Registered/Reference Plan: \_\_\_\_\_

Municipal Address: 204 Hollingsworth Drive, King City, On., L7B 1G8

Tax Roll No.: \_\_\_\_\_

**SITE AND PROPERTY HISTORY:**

Condition	Yes	No
Is the application on lands or adjacent to lands previously used for Industrial uses?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the application on lands or adjacent to lands previously used for commercial uses where there is a potential for site contamination, e.g., a gas station or a dry-cleaning plant?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the application on lands or adjacent to lands where filling has occurred?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the application on lands or adjacent to lands where there may have been underground storage tanks or buried waste on the property?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the application on lands or adjacent to lands that have been used as an orchard, and where cyanide products may have been used as pesticides?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the application on lands or adjacent to lands previously used as a weapons firing range?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the nearest boundary of the application within 500 metres (1,640 feet) of the fill area of an operating or former landfill or dump?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If there are existing or previously existing buildings, are there any building materials remaining on the site which are potentially hazardous to public health (e.g. asbestos, PCB's etc.)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is there any other reason to believe that the lands may have been contaminated based on previous land use?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If the answer to any of the above Questions was Yes, a Phase 1 and Phase 2 Environmental Site Assessment, in accordance with the Ministry of Environment and Energy's Guideline for Use at Contaminated Sites in Ontario, is required. PLEASE SUBMIT TWO COPIES WITH YOUR APPLICATION.

Has an Environmental Site Assessment been prepared for this site within the last 5 years, or is an Environmental Site Assessment currently being prepared for this site? If Yes, please submit two copies of the Phase 1 Assessment with the application.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
---	---------------------------------	---

**DECLARATION:**

This form must be completed, signed, and stamped by a Professional Engineer, and by the Property Owner.

To the best of my knowledge, the information provided in this questionnaire is true, and I do not have any reason to believe that the subject site is contaminated.

**Consulting Engineer:**

Name (Please Print): Travis Schiller

Signature: \_\_\_\_\_ Date: 2024-08-19

Name of Firm: Schillerco Ltd

Address: [REDACTED]

Telephone: [REDACTED] Fax: \_\_\_\_\_

**Property Owner, or Authorized Officer:**

Name (Please Print): Lucas Cocomello

Signature: \_\_\_\_\_ Date: 2024-08-19

Name of Company (If Applicable): \_\_\_\_\_

Title of Authorized Officer: Project Manager

Address: [REDACTED]

Telephone: [REDACTED] Fax: \_\_\_\_\_





King Township  
2585 King Road  
King City, Ontario  
Canada L7B 1A1

Phone: 905.833.5321  
Fax: 905.833.2300  
Website: www.king.ca

**APPLICATION FOR MINOR VARIANCE  
TO THE COMMITTEE OF ADJUSTMENT**

The undersigned hereby applies to the Township of King Committee of Adjustment under Section 45 of the Planning Act, 1990, as amended, for relief, as described in this application, from By-law Number 74-53, as amended.

1. NAME

(a) Registered Owner(s): Gurvir Pahal  
Address: 204 Hollingsworth Drive, King City, On., L7B 1G8  
Telephone Number: [REDACTED]  
Fax Number: \_\_\_\_\_  
E-Mail Address: [REDACTED]

(b) Authorized Agent: Lucas Cocomello  
Firm (if applicable): Schillerco Ltd.  
Address: [REDACTED]  
Telephone Number: [REDACTED]  
Fax Number: \_\_\_\_\_  
E-Mail Address: [REDACTED]

(c) Name of Mortgagees,  
Holders, Charges, or  
Other Encumbrancers: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_

**NB: Please include postal code with address.**

(d) Check the name(s) of whom correspondence should be addressed:  
Owner:  Agent:



2. PROPERTY DESCRIPTION

(a) Township Lot(s) or Part Lot(s) \_\_\_\_\_ Concession \_\_\_\_\_  
Reference Plan Number \_\_\_\_\_ Part(s) Number \_\_\_\_\_  
Registered Plan Number \_\_\_\_\_ Lot \_\_\_\_\_  
Street & Street Number \_\_\_\_\_  
(If applicable)  
Assessment Roll Number: 1949.000. \_\_\_\_\_ . \_\_\_\_\_

(b) Dimensions of Entire property (metric):  
Area <sup>848</sup> \_\_\_\_\_ Frontage <sup>18</sup> \_\_\_\_\_ Depth \_\_\_\_\_

3. TYPE OF APPLICATION (Please indicate)

- (a) Minor Variance to the Zoning By-law  
(Answer Questions 4-6 and 10-21)
- (b) Permission for Enlargement/Expansion of a non-conforming use  
(Answer Questions 6-8 and 10-21)
- (c) Permission for a change of a non-conforming use  
(Answer Questions 6, 7 and 9-21)

4. IF MINOR VARIANCE: Explain nature and extent of relief applied for:

due to the zoning bylaw restrictions and lot orientation, we were not able to comply with the zoning requirements

---

---

---

---

5. IF MINOR VARIANCE: Explain why it is not possible to comply with the provisions of the by-law:

side yard setback of 1.19m is required where the bylaw notes 3.60m is the minimum required.

coverage of 36.06% is required where the bylaw notes 30% is the maximum.

---

---

---

6. EXISTING use(s) of subject property:

s.f.d.

---

---

---

---



7. EXISTING uses of abutting properties:

North: residential \_\_\_\_\_  
 South: residential \_\_\_\_\_  
 East: residential \_\_\_\_\_  
 West: residential \_\_\_\_\_

8. IF THE ENLARGEMENT/EXPANSION OF A NON-CONFORMING USE: Explain current use(s) of subject property; length of time existing uses have continued and how use(s) are to be enlarged or expanded:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

9. IF PERMISSION FOR A CHANGE OF NON-CONFORMING USE: Explain current use(s) of subject property; length of time existing use(s) have continued, and proposed use(s):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**FOLLOWING QUESTIONS TO BE COMPLETED FOR ALL APPLICATIONS**

10. PARTICULARS of all buildings and structures on or proposed for the subject land in **METRIC**.

Requirements	Existing Structures			Proposed Structures		
	1	2	3	1	2	3
<b>Structure Type</b>						
Ground Floor Area						
Gross Floor Area						
Number of Storeys						
Length						
Width						
Height						





11. LOCATION of all buildings and structures on or proposed for the subject land in **METRIC**.

Requirements	Existing Structures			Proposed Structures		
	1	2	3	1	2	3
<b>Structure Type</b>	2 story dwelling			cabana	pool	
<b>Distance From:</b>						
Front Lot Line	8.57			10.0+	10.0+	
Side Lot Line	1.67			1.19	10.0+	
Other Side Lot Line	2.63			10.0+	7.32	
Rear Lot Line	7.50+			2.0	1.53	

12. DATE of construction of all buildings and structures on subject land:

2 story dwelling - 2023  
 \_\_\_\_\_  
 cabana - October 2024  
 \_\_\_\_\_  
 pool - October 2024  
 \_\_\_\_\_

13. DATE of acquisition of subject land: 2021

14. RESTRICTIONS on the land:  
 Please indicate the nature of any easements or restrictive covenants affecting the subject lands.

n/a  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

15. SERVICES available: (check appropriate spaces):

(a) Water Supply: Municipal Water  Private Well   
 (b) Sewage Disposal: Municipal  Private  Other   
 (c) Road Access: Township  Regional  Provincial  Private   
 (d) Street Name \_\_\_\_\_  
 (Is the driveway access gated?) Yes  No

16. GREENBELT AREA:

Protected Countryside  Town & Village   
 Hamlet  Oak Ridges Moraine Area

17. REGIONAL Municipality of York Official Plan Designation:

Town & Village  Rural Policy Area   
 Agricultural Policy Area  Holland Marsh Area



King Township  
2585 King Road  
King City, Ontario  
Canada L7B 1A1

Phone: 905.833.5321  
Fax: 905.833.2300  
Website: www.king.ca

18. PRESENT Official Plan provisions applying to the land:  
Document:

Designation: \_\_\_\_\_  
Applicable Sections: \_\_\_\_\_

19. PRESENT Zoning By-law provisions applying to the land:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

20. HAS the owner previously applied for relief in respect of the subject property?

Yes \_\_\_\_\_ No <sup>x</sup> \_\_\_\_\_

If the answer is yes, describe briefly: \_\_\_\_\_

not that we are aware of

\_\_\_\_\_  
\_\_\_\_\_

21. Is the subject property the subject of a current application under the Authority of the Planning Act, 1990, as amended? (Consent, Zoning Amendment, Official Plan Amendment)?

Yes \_\_\_\_\_ No <sup>x</sup> \_\_\_\_\_



King Township  
2585 King Road  
King City, Ontario  
Canada L7B 1A1

Phone: 905.833.5321  
Fax: 905.833.2300  
Website: www.king.ca

CERTIFICATE - (to be signed by Owner, if Agent has been appointed)

As of the date of this application, I am the registered Owner of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I concur with the submission of this application by:

\_\_\_\_\_ Of \_\_\_\_\_  
who I have appointed as my Agent.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
Signature of Owner(s)

AFFIDAVIT

I, GURVIR PAHAL of the KING CITY  
in the Region of YORK, solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED BEFORE ME AT

The Township of KING  
in the REGION of YORK  
this 8<sup>th</sup> day of November, 2024

K. Earley  
Commissioner, Etc.  
Kelly Lynn Earley,  
a Commissioner etc., Province of Ontario,  
for the Corporation of the Township of King,  
Expires September 19, 2025

Gurvir Pahal  
Registered Owner(s) or Agent

Personal information on this form is collected under the legal authority of the Planning Act, R.S.O. 1990, C.P.13 as amended. This information will be used to process an application for Minor Variance and Consent for the Committee of Adjustment. Information on this application and any documentation submitted in support of or in opposition, becomes the property of the Township of King. This information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to s.1.0.1 Information and material that is required to be provided to a municipality or approval authority under the Planning Act shall be made available to the public. Questions about this collection should be directed to the Secretary-Treasurer, Township of King, L7B 1A1 (905) 833-5321.



**Township of King**

**COMMITTEE OF ADJUSTMENT  
SIGN REQUIREMENT**

**NOTICE TO OWNER/AGENT**

Please be advised that in order to give proper notice of the Public Hearing respecting the application, the Planning Act requires that an information sign be placed on the subject property prior to the Hearing.

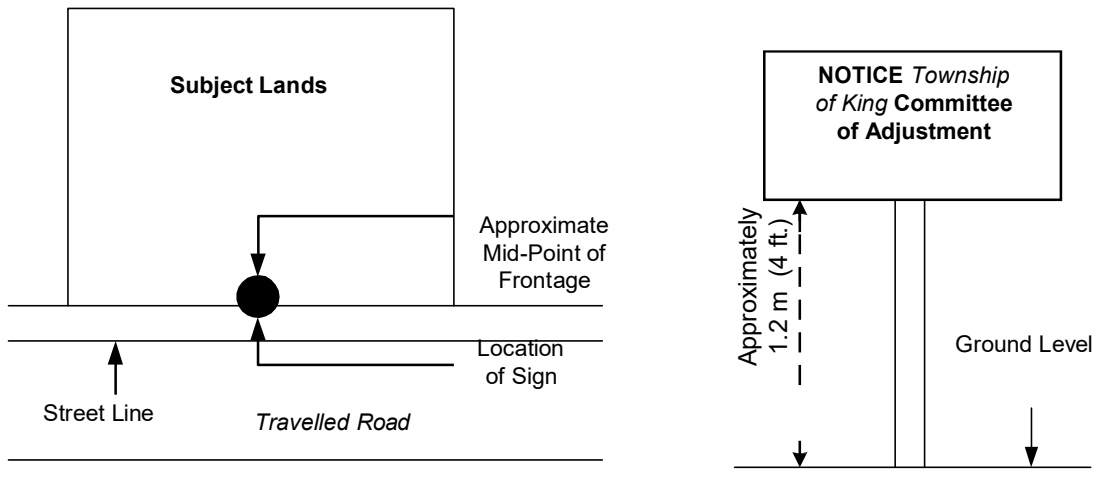
Accordingly, a sign will be provided by the Township indicating the nature of the application, the hearing date and file number. This sign should be posted as soon as it is received, in the manner shown below or attached to an appropriately located existing feature such as a fence or pole which provides adequate visibility from the road.

Failure to post the sign will result in the hearing of the application being delayed.

**PLEASE ENSURE THAT A SIGN IS OBTAINED FROM THE TOWNSHIP OF KING AT THE TIME OF SUBMISSION OF THE APPLICATION.**

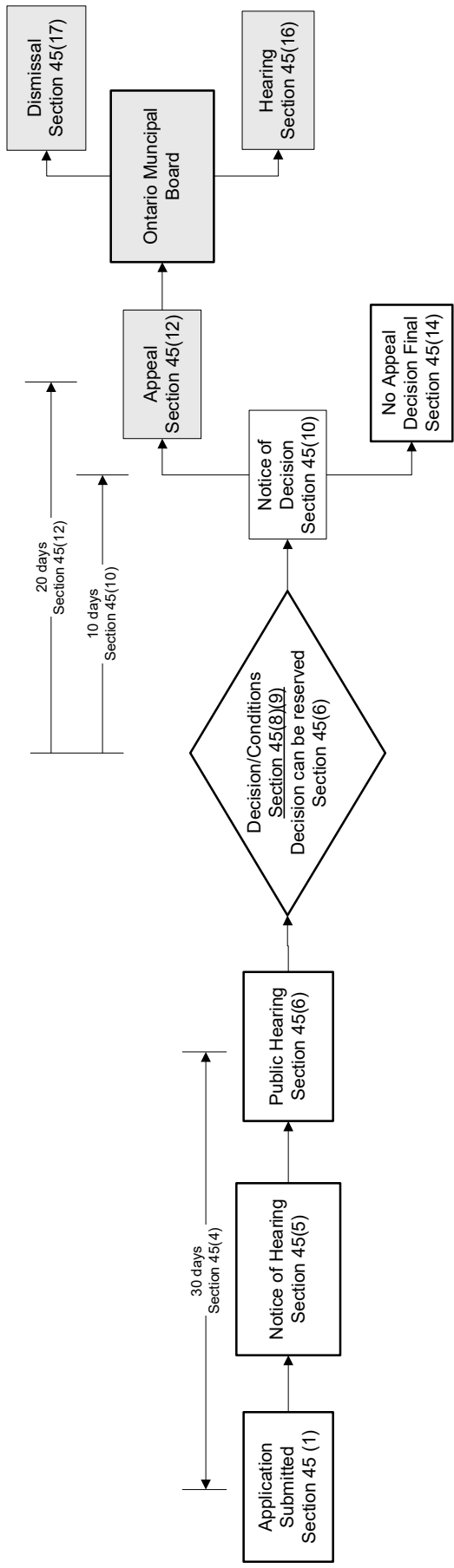
---

**TYPICAL EXAMPLE**





# Township of King Minor Variance Process



## LEGEND

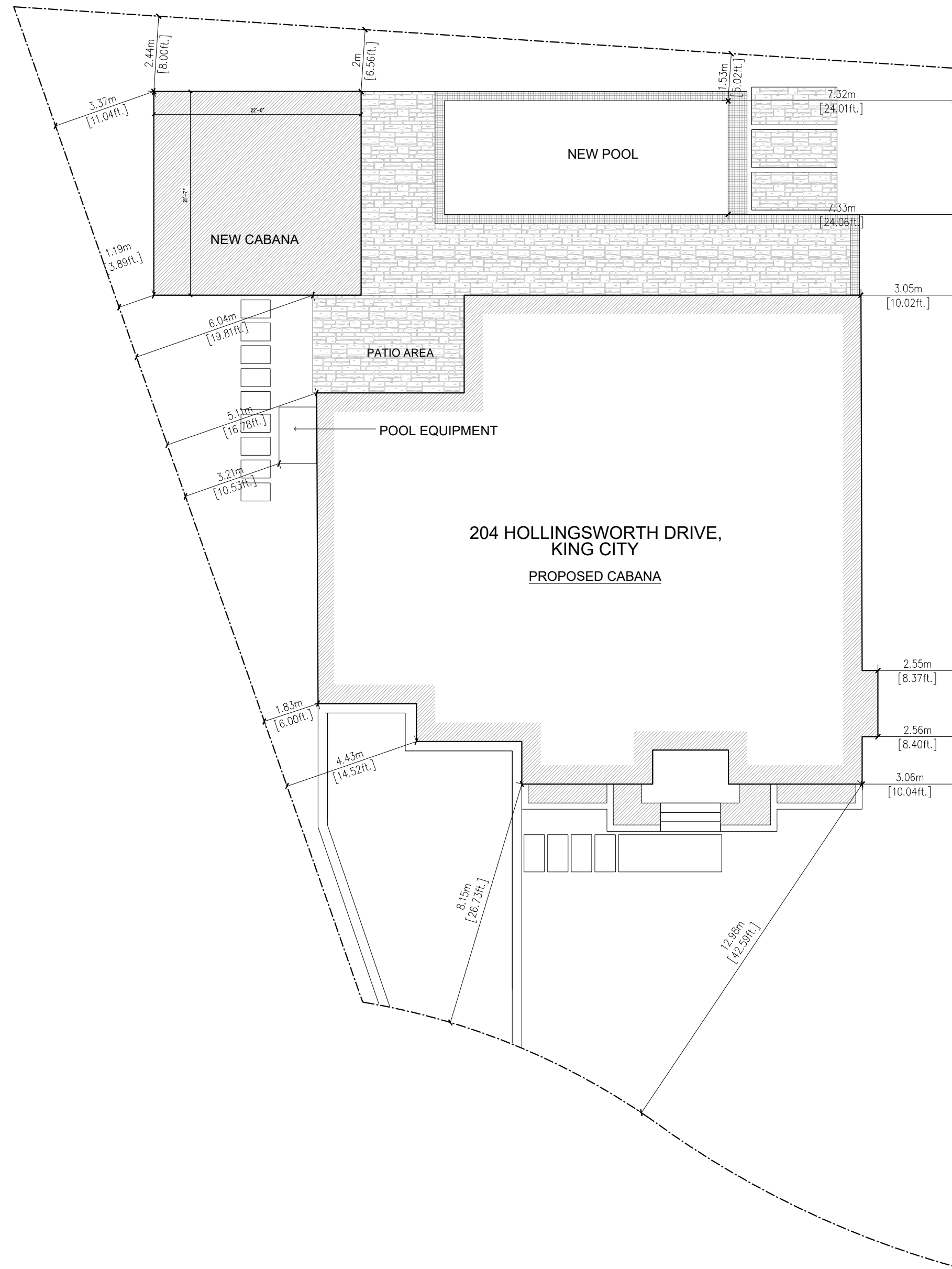
□ Committee of Adjustment Process

■ Ontario Municipal Board (OMB) Process

Please note that the section numbers refer to the Ontario Planning Act, R.S.O., 1990 c.P.13

\* Any person may appeal the decision or any conditions within 30 days

\*\* Committee of Adjustment Secretary/Treasurer to forward record within 15 days



204 HOLLINGSWORTH DRIVE,  
KING CITY  
PROPOSED CABANA

**SCOPE OF WORK**

PROPOSED CABANA

**SITE STATISTICS**

	METRIC	IMPERIAL
LOT AREA	848.12 S.M.	9129.12 S.F.
EX. HOUSE COVERAGE*	249.54 S.M.	2685.98 S.F.
EX. PORCH AREA*	4.61 S.M.	49.67 S.F.
EX. REAR PATIO AREA	7.61 S.M.	81.93 S.F.
NEW CABANA AREA*	44.11 S.M.	474.83 S.F.
NEW CABANA AREA* COVERAGE*	298.26 S.M.	3210.48 S.F.

**ZONING INFORMATION**

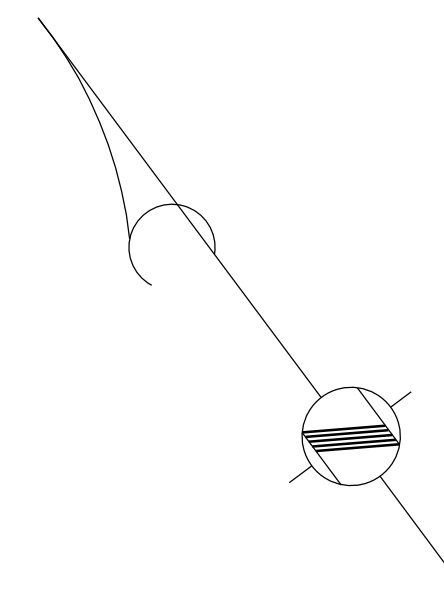
ZONE	ZONING	PROPOSED
	RID	
LOT AREA	EXISTING	EXISTING
FRONTAGE	21.00M	EXISTING
FRONT YARD	7.50M	EXISTING
SIDE YARD	3.60M	1.19M PROP.
SIDE YARD	3.60M	10M+ PROP.
REAR YARD	1.20M	2.0M PROP.
COVERAGE	30.00%	35.17% PROP.
MAX HEIGHT	9.00M/4.5M	EXISTING/3.82M
LOT PERVIOUS AREA	45%	44.22%

**LOT PERVIOUS AREA(44.22%)**

REAR YARD AREA	848.12 S.M.	9129.12 S.F.
EX. HOUSE COVERAGE	249.54 S.M.	2685.98 S.F.
EX. REAR PATIO AREA	7.61 S.M.	81.93 S.F.
NEW CABANA AREA	44.11 S.M.	474.83 S.F.
NEW LANDSCAPE STONE	56.83 S.M.	611.75 S.F.
NEW COPING SURROUND	11.65 S.M.	125.44 S.F.
NEW SIDE YARD PATIO STONE	4.98 S.M.	53.64 S.F.
EX. PLANTER WALL AREA	2.64 S.M.	28.38 S.F.
EX. PLANTER AREA	6.55 S.M.	70.49 S.F.
EX. FRONT YARD WALKWAY STONE	31.81 S.M.	34.24 S.F.
EX. DRIVEWAY AREA	57.32 S.M.	616.99 S.F.

GRASS AREA	375.08 S.M.	4345.45 S.F.
------------	-------------	--------------

**NORTH ARROW**



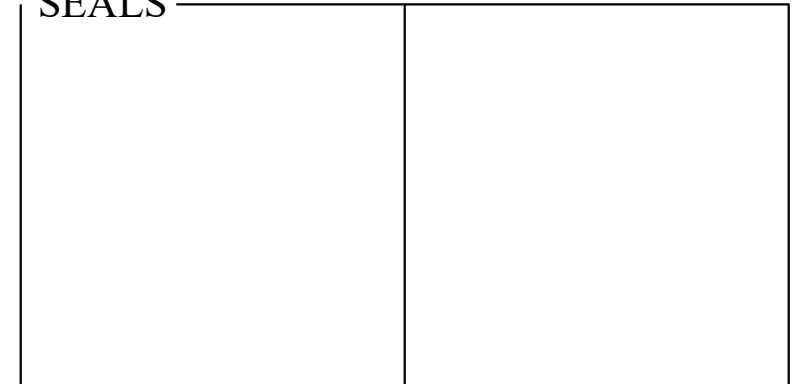
**NOTES**

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS (I.E. FLOOR LAYOUT, TRUSS LAYOUT) BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION
1	MAY 31 2024	ISSUED FOR REVIEW

**SEALS**



**SCHILLERCO**  
340 CHURCH STREET  
OAKVILLE, ON L6J 1P1  
PHONE: 905-822-1666  
EMAIL: TRAVIS@SCHILLERCO.CA

**CLIENT**

PRIVATE RESIDENCE

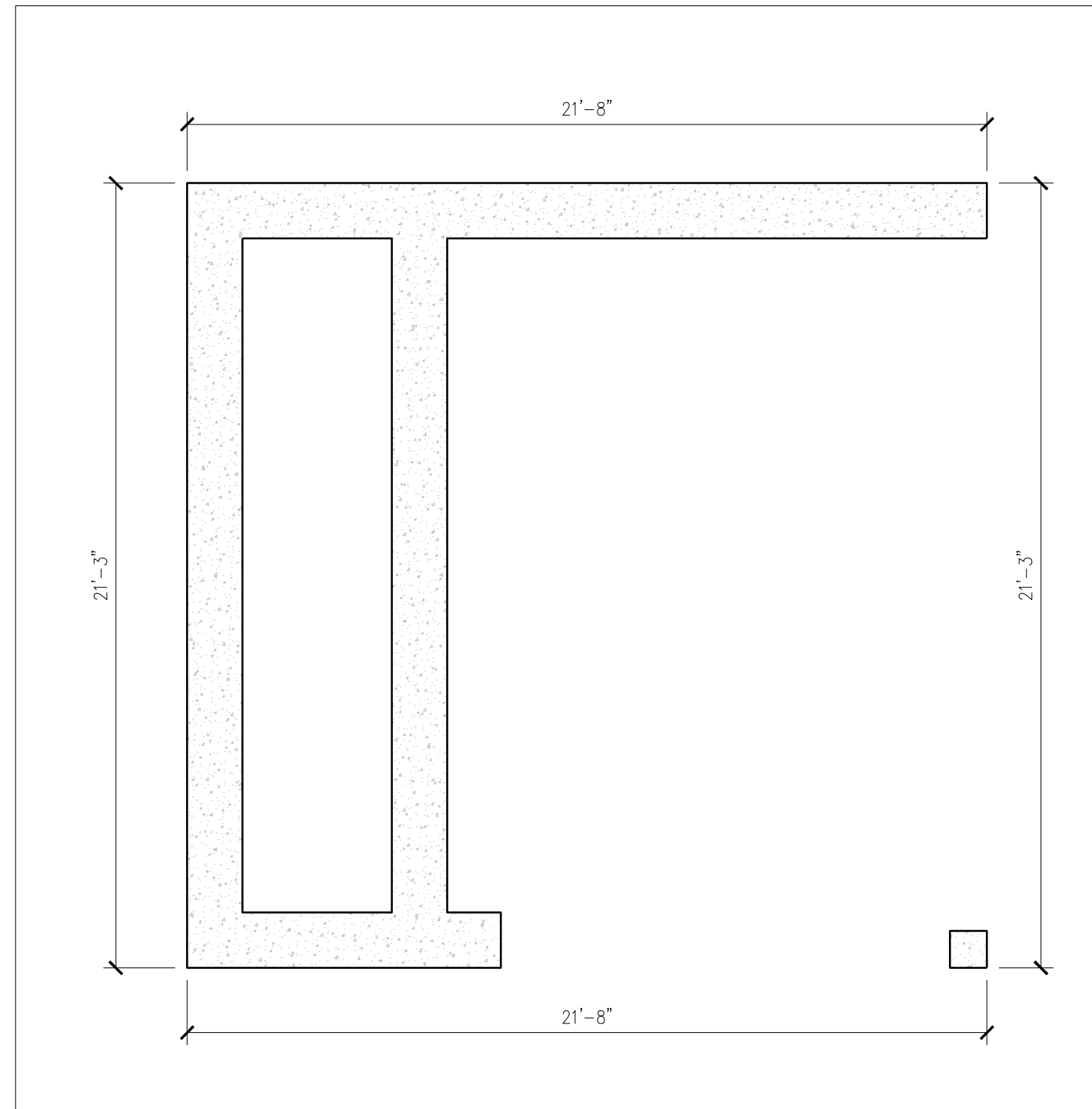
**PROJECT**

204 HOLLINGSWORTH DRIVE, KING CITY, ON.,

**PAGE**

SITE PLAN

APPROVED BY:	TS	<b>A1.0</b>
DATE:	MAY 2024	
PROJECT No.	2024SE185	



**NOTES**

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS (I.E. FLOOR LAYOUT, TRUSS LAYOUT) BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION
1	MAY 31 2024	ISSUED FOR REVIEW

SEALS



**SCHILLERCO**

340 CHURCH STREET  
OAKVILLE, ON L6J 1P1  
PHONE: 905-822-1666  
EMAIL: TRAVIS@SCHILLERCO.CA

**CLIENT**

PRIVATE RESIDENCE

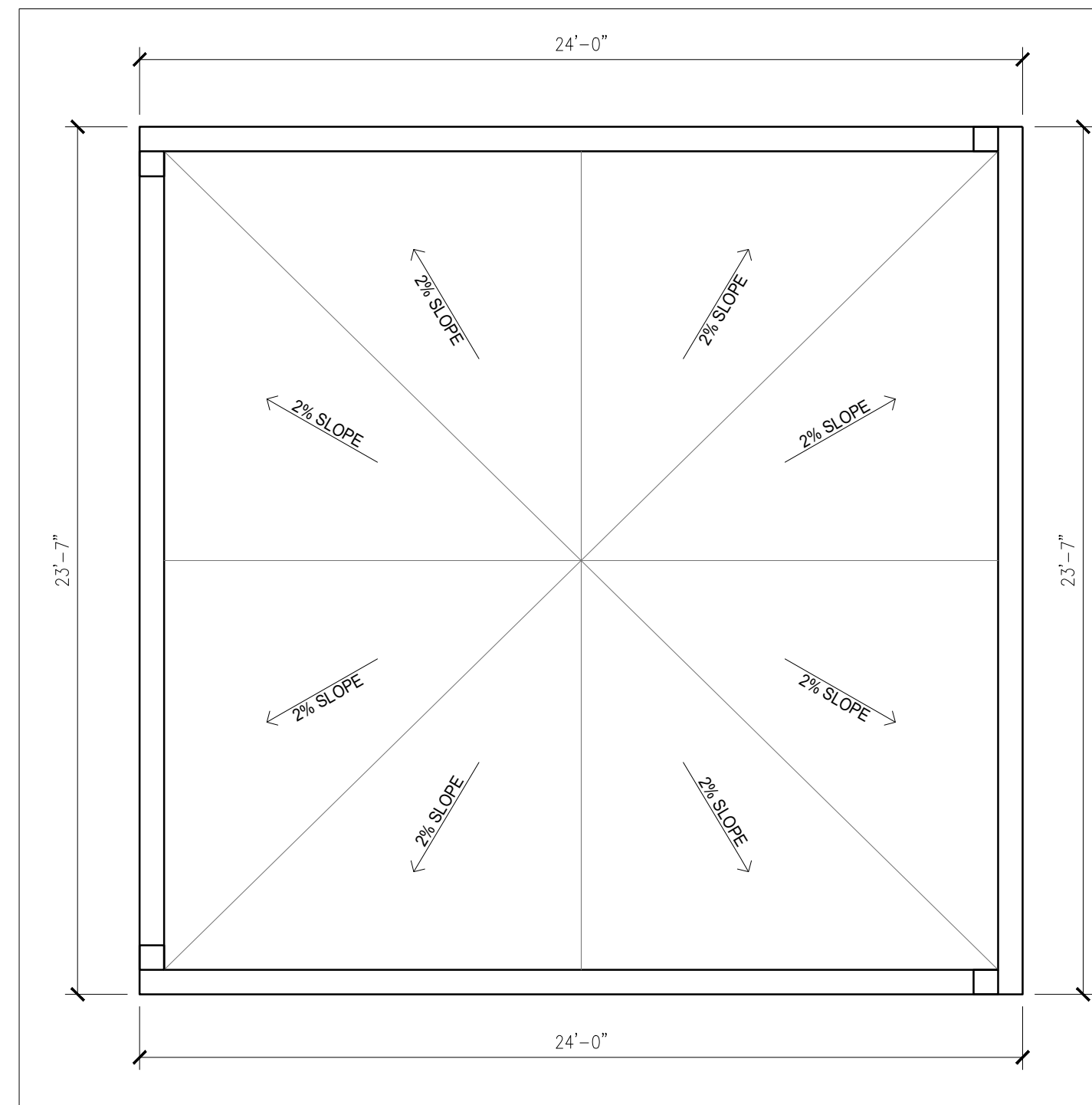
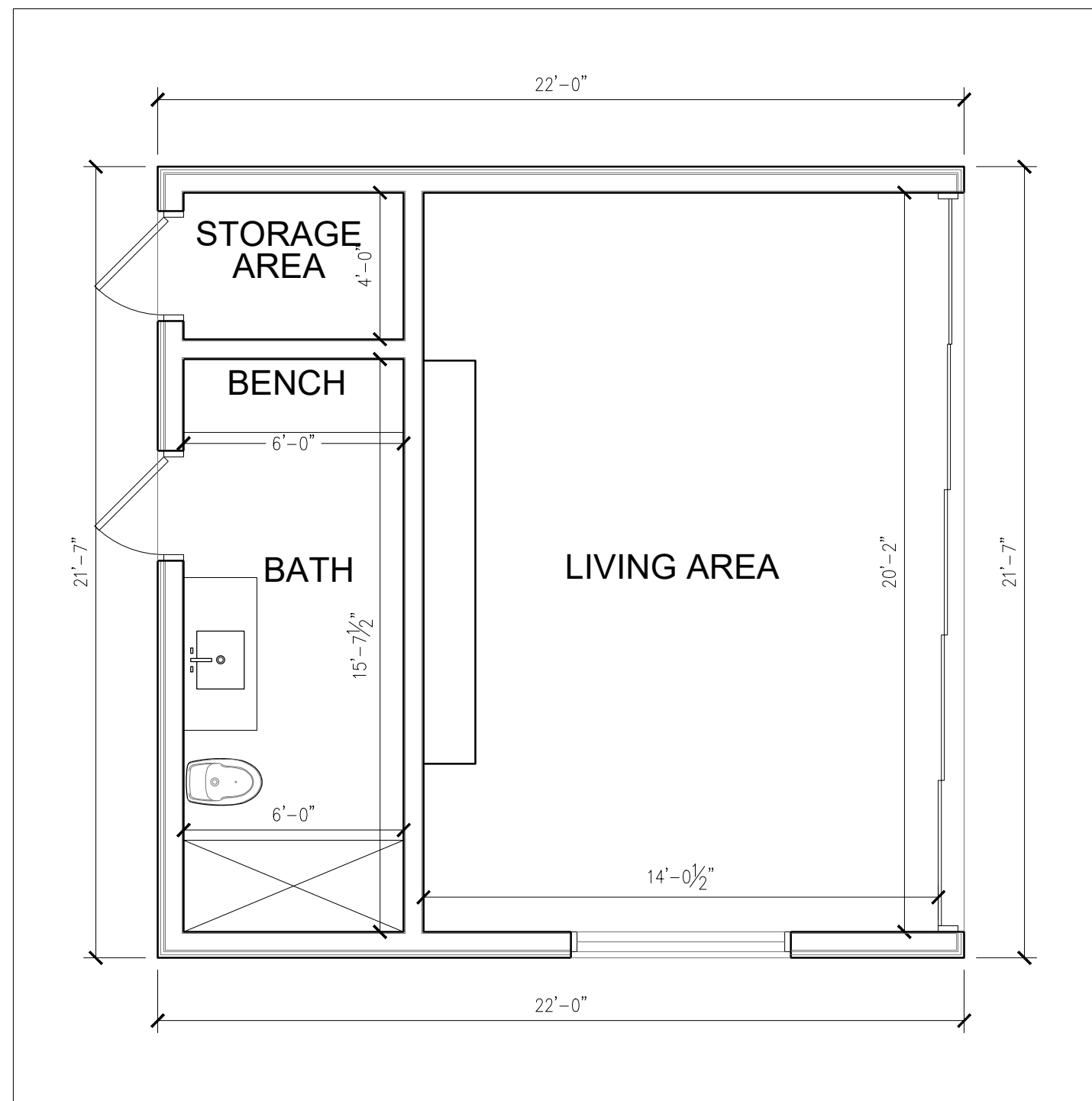
**PROJECT**

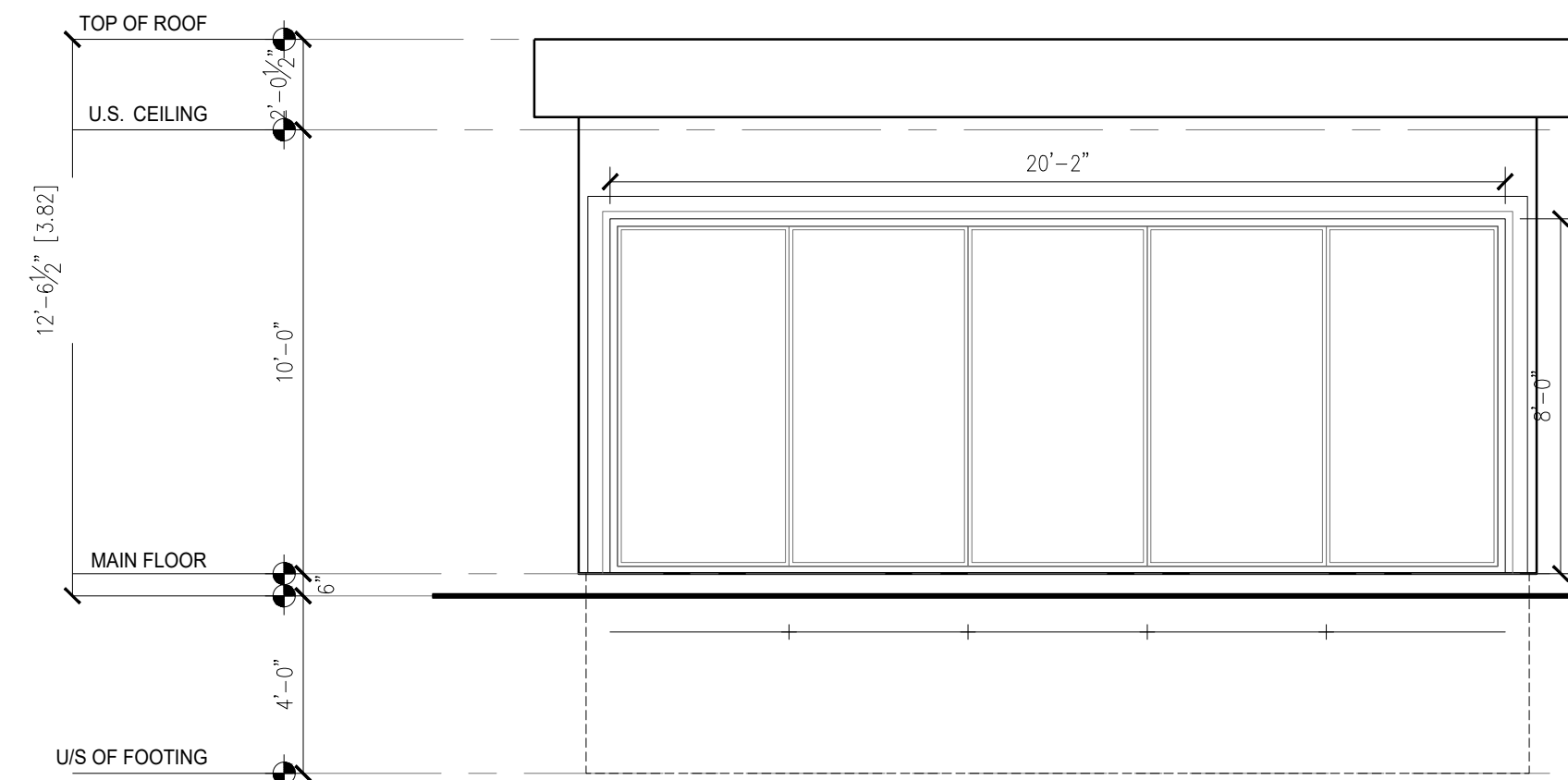
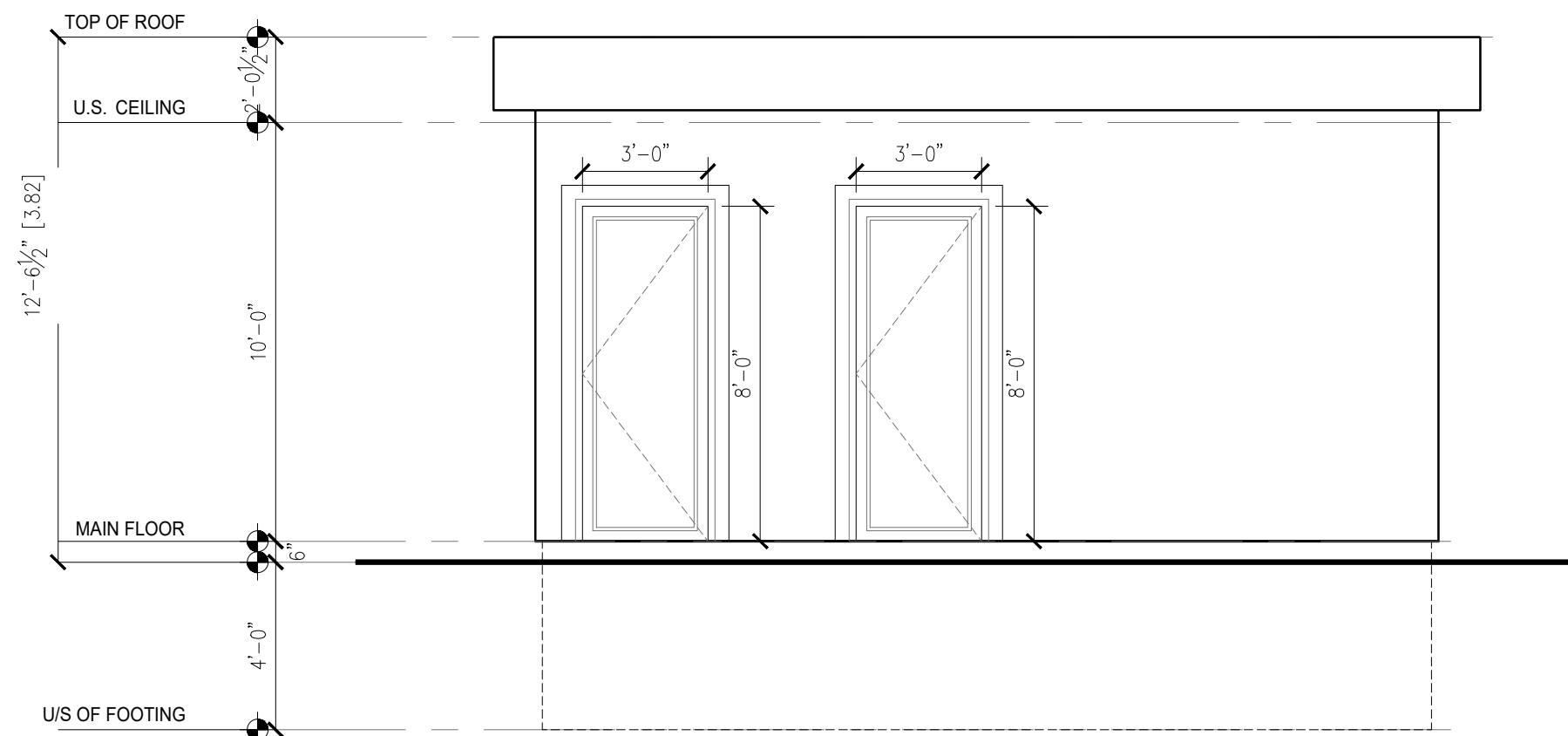
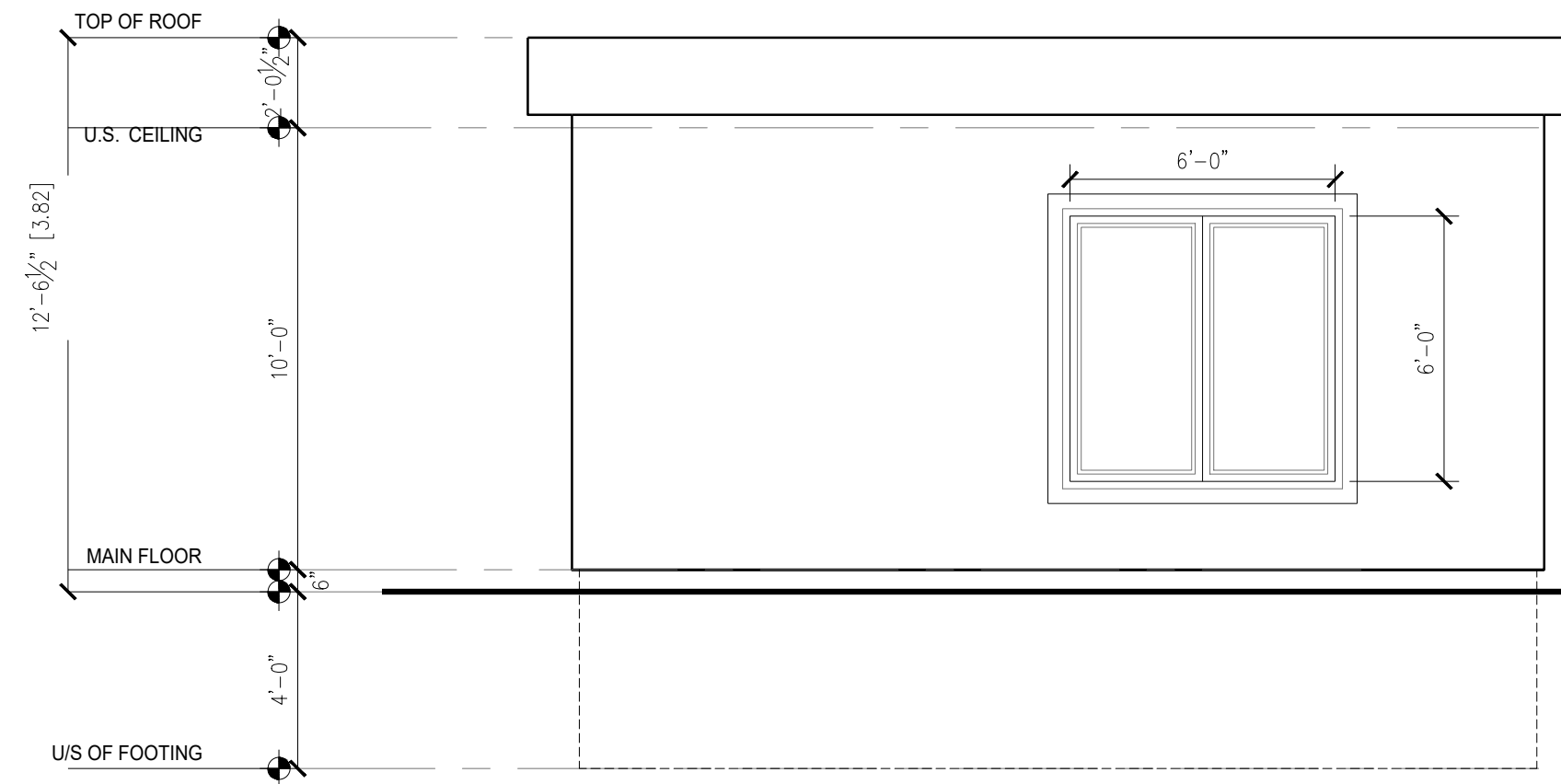
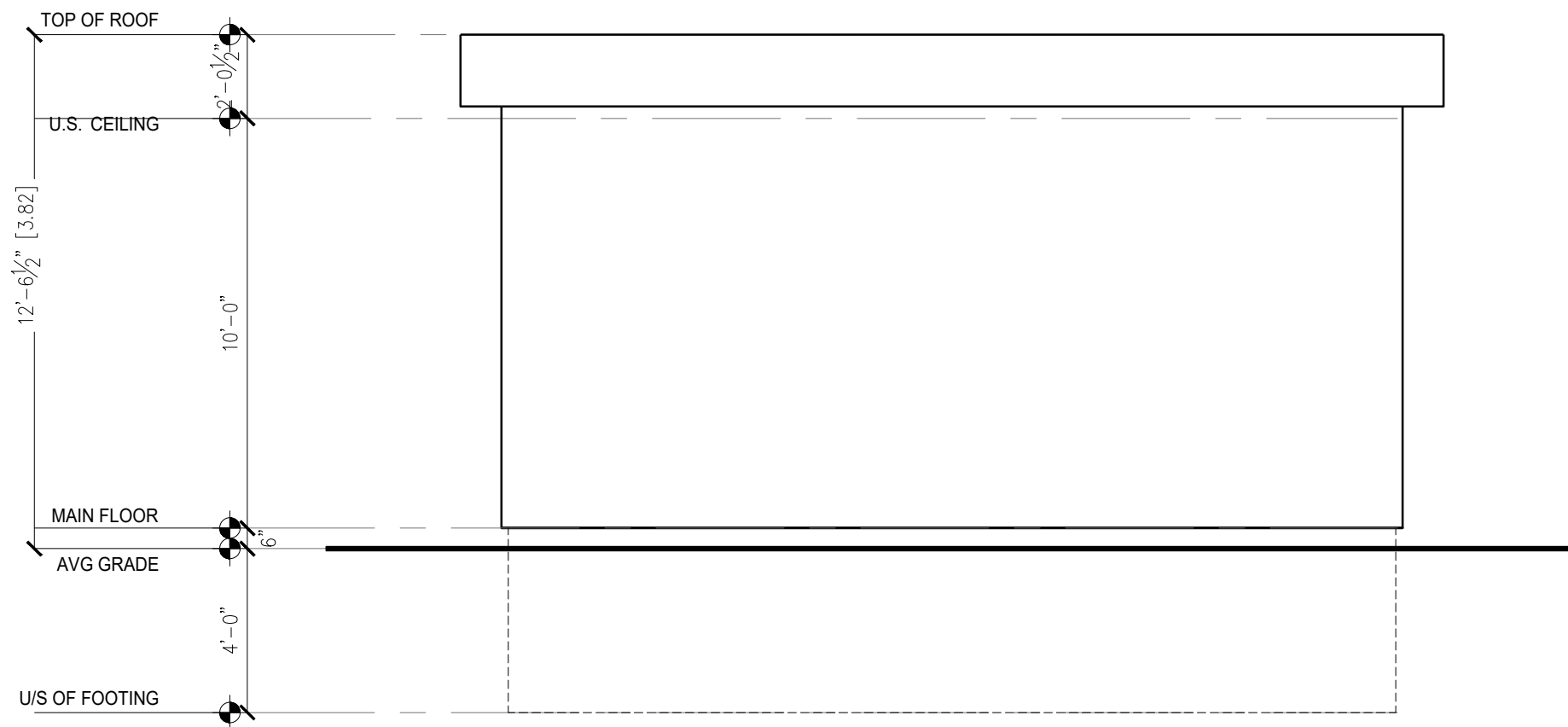
204 HOLLINGSWORTH DRIVE, KING CITY, ON.,

**PAGE**

**FLOOR PLANS**

APPROVED BY:	TS	<b>A1.1</b>
DATE:	MAY 2024	
PROJECT No.	2024SE185	





**NOTES**

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS (I.E. FLOOR LAYOUT, TRUSS LAYOUT) BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION
1	MAY 31 2024	ISSUED FOR REVIEW

**SEALS**

--	--



**SCHILLERCO**  
 340 CHURCH STREET  
 OAKVILLE, ON L6J 1P1  
 PHONE: 905-822-1666  
 EMAIL: TRAVIS@SCHILLERCO.CA

**CLIENT**

PRIVATE RESIDENCE

**PROJECT**

204 HOLLINGSWORTH DRIVE, KING CITY, ON.,

**PAGE**

ELEVATIONS

APPROVED BY:	TS	<b>A2.1</b>
DATE:	MAY 2024	
PROJECT No.	2024SE185	



## Dhwani Shah

---

**From:** Andrew Quattrociochi [aquattrociochi@king.ca](mailto:aquattrociochi@king.ca)

**Sent:** Thursday, October 24, 2024 1:15 PM

**To:** cofa [cofa@king.ca](mailto:cofa@king.ca); Jennifer Roos [jroos@king.ca](mailto:jroos@king.ca)

**Subject:** RE: REQUEST FOR COMMENTS: A-24-50 (204 Hollingsworth Drive, King City)

The building had no objections to the proposed variance but remind the applicant that a building permit is required prior to construction commencing .

Regards,



**ANDREW QUATTROCIOCCHI, CBCO**

Chief Building Official | [Building Division](#)

2585 King Road, King City, Ontario L7B 1A1

t: 905-833-4012 | [www.king.ca](http://www.king.ca)



The information contained in this message is directed in confidence solely to the person(s) named above and may not be otherwise distributed, copied or disclosed. This message may contain information that is privileged, confidential and exempt from disclosure under the Municipal Freedom of Information and Protection of Privacy Act. If you have received this message in error, please notify the sender immediately advising of the error and delete the message without making a copy. Thank you.



**TO: PLANNING DIVISION**  
**FROM: BY-LAW DIVISION**  
**RE: STANDARD COMMENTS/PROVIDE TO APPLICANT 204 Hollingsworth Drive**  
**DATE: October 25<sup>th</sup>, 2024**

---

**Objective:**

This memo provides a list of general comments in effort to proactively addressing common by-law and nuisance type complaints, related to construction and development.

We ask that Planning Staff, and any owner/applicant responsible for development in King, kindly take these comments into consideration and further, take steps to avoid and/reasonably mitigate any problems due to by-law violations or nuisances for the community. Further that contact information for responsible parties be identified early, and be maintained current and in a central location to be used, as required.

**Signs:**

1. Signage is subject to the Sign By-law, as amended, including review, approval and permitting. Identify and provide proposed signage, locations, and any details early in development planning stages.

**Municipal Number Identification:**

2. A municipal address number sign (known as a green number sign) must be erected and clearly visible from the highway identifying the property in accordance with municipal records.

**Noise:**

3. Construction type noise/sound is subject to the Noise By-law 81-142, as amended.
  - a) No construction (related noise) on Sunday anytime or, Monday-Saturday (9:00 pm and 7:00 am.)
  - b) There is **zero** tolerance for related complaints.
  - c) Consider your neighbors and try to avoid construction related noise on statutory holidays and avoid the use of generators, if possible.

**Garbage:**

4. Ensure adequate garbage/disposal system on the property.
5. Garbage on the property during construction, to be maintained including stored properly so as not to create an unsightly appearance and to ensure is not lose and blowing around.

**Fencing:**

6. Fencing is subject to the Fence By-law, as amended, including but not limited to: height, location, pool enclosures, etc.
7. Privacy Screening/Noise Attenuation Barriers and exterior yard fencing constructed so as not to be climbable and in accordance with the pool enclosure requirements on both sides.

**Road:**

8. Road allowance (including boulevard, grass, highway and sidewalk) to remain free and clear of: debris, mud (e.g. mud tracking) equipment and/or any type of materials.
  - a. Activity within the municipal right of way is prohibited and there will be zero tolerance of any fouling and encumbering of a roadway.
9. Half loads or reduced loads may be in in place on roads; ensure to abide by load restrictions.
10. Ensure entrance rules, (e.g. measurements, locations) are discussed/ reviewed and communicated to the home owner in the early staged (note- conflict in driveway widths private property versus municipal property to be resolved.)

## **Parking**

11. Adequate parking spaces to be allocated on the site for the proposed uses including during the project.
12. On-street parking is subject to parking by-law, included but not limited to: loading/unloading, facing the direction of traffic, not exceeding 3 hours, interferes with snow removal, or during winter restrictions.
  - a. All trades/contractors to park on one side of the street subject to parking restrictions.
  - b. Traffic and parking plan to be coordinated to determine requirements for on-street parking during construction and paving later on during the projects, and if parking exemptions will be necessary through by-law (AIMS.)
13. In the case of private property and where parking lots are proposed that parking signage be displayed, at all entrances/exits; giving authority for enforcement for parking offences, as may be required.
14. Ensure roads in the vicinity of the project and the property are evaluated for potential or necessary parking restrictions as may be required due to the development. Consider parking restrictions on the same side or in the vicinity of the development and/or implement lay by lane parking.
15. Consideration of on-street parking restrictions in the vicinity of development area (e.g. where high traffic visitors.).
16. Ensure adequate parking signage is installed prior to occupancy and consider:
  - a. fire routes, accessible parking, no parking in the isle lanes, parking only in designated parking stalls/spaces, parking by permit only and at all entrances a sign that reads: all unauthorized vehicles parked will be tagged and/or towed at owners expense.
  - b. Ensure visitor parking is provided.

## **Agreement:**

17. Include comments in the agreements that all development must comply with all applicable laws.
  - a. Ensure that any agreements or security deposits obtained/retained by the municipality includes a condition that said security/deposit will not be released unless it is proven that the property and works are in compliance will all applicable law. (For example if pool constructed a fence must be installed in accordance with by-laws.)
18. Ensure the property is in compliance with all applicable laws and that as built drawings are provided and in compliance with all submissions and applicable laws.

## **Other:**

19. **No works to commence on the property until all approvals and permits have been obtained and/or clearance has been provided by the Township.**
20. Site alteration outside the building envelope is not permitted without approval.
21. Ensure all submitted drawings are clear, and illustrate where site alteration activities proposed to take place and in such cases a detailed and approved grading plan is to be provided by a qualified person showing pre-existing grade and final grade, confirming drainage is maintained on the subject property and all fill is clean, in the event of reported complaints.
22. Easements and encroachments to be reviewed to ensure, not impeded or affected.
23. Ensure 'uses' and/or proposed 'uses' of the property and structures are in accordance with the Zoning By-laws, and recorded properly by MPAC.
24. Dust measures should be taken into consideration throughout the construction period so as to ensure adjacent properties are not unreasonably affected.
25. Ensure existing trees are protected.

## **Snow:**

26. Consider dedicated snow storage areas away from adjacent properties to avoid flooding or drainage complaints.

## **Adjacent Properties:**

27. In-fill lots must have additional restrictions in place to avoid and address all nuisances (e.g. road damage deposits.)
  - a. Ensure adjacent properties are not affected due to: construction activities, debris, height, location, setbacks, drainage and/or lighting.
  - b. Ensure that the construction site is fenced to avoid problems on adjacent properties and ensure all works is contained on the site.
  - c. Ensure all lights are not directed towards adjacent properties.

## **INTERNAL COMMENTS FOR REVIEW:**

### **Key Contact:**

28. Ensure that key contact information (email, office/cell numbers) of persons responsible for overseeing any works on the property and as well as the property owner, is readily available to the by-law enforcement division through Land Manager and Laser Fiche, etc.

### **Financial:**

29. Obtain a security deposit and confirm the applicant understands that during development and the duration of the construction they must comply with all municipal by-laws, failing which there will be zero tolerance and any security deposit obtained will be utilized to bring matters into compliance promptly through remediation.

30. Ensure to check with all departments for any outstanding violations prior to signing off or returning **security/deposit**.

### **Workflow:**

31. Ensure the works undertaken at the property are per the approved plans before releasing any securities. Ensure staff are clear on what is permitted in the event enforcement is required.

32. In the event of complaints the planner/property owner will be contacted by Engineering to identify and concern any issues and Planning/Engineering will work with the owner/applicant and will request the assistance of By-law as may be required.

33. Consideration of using Land Manager, Laser Fiche and GIS to identify property/file numbers/key contact information for all responsible parties.

### **Traffic:**

34. Ensure by-law amendments for applicable road related restrictions (e.g. speed, stopping, and parking) are enacted through by-law amendment and that required signs are installed accordingly and before occupancy.



## Dhwani Shah

---

**From:** Jessica Sciascia  
**Sent:** Tuesday, October 29, 2024 2:45 PM  
**To:** cofa  
**Cc:** Dhwani Shah; Iqra Chaudhry  
**Subject:** RE: REQUEST FOR COMMENTS: A-24-50 (204 Hollingsworth Drive, King City)

Hello,

We have no objections to the application or variances.

Please see my comments below, this will be required at the time of Development Engineering Approval :

- Applicant to provide a revised site plan with the following information:
  - Existing and proposed grades
  - Identify existing and proposed drainage patterns
  - Pool enclosure with self closing self latching gates
  - Identify roof leaders on the house and proposed cabana
  - Provide erosion and sediment control Measures, ie. silt fencing
  - A 0.6 m undisturbed setback is required from all property lines, swales in this area shall be maintained
  - Identify any easements, show setbacks from the easement, and note that any works in that area are subjected to be removed if required
  - More information can be found on our website, <https://www.king.ca/dev-eng-approval>
- Pool permit will be required for the proposed pool, <https://www.king.ca/poolpermit> ,applicant to resubmit new plans for approval
- Note, the addition of more hardscaping may result in requiring a hard landscaping exemption permit, <https://www.king.ca/HardLandscapingExemption>

Thank you,

**Jessica Sciascia**

Civil Engineering Technologist | Growth Management Services  
2585 King Road, King City, Ontario L7B 1A1  
t: 905-833-5321 ext. 1055 | c: 416-526-6985 | [www.king.ca](http://www.king.ca)





The information contained in this message is directed in confidence solely to the person(s) named above and may not be otherwise distributed, copied or disclosed. This message may contain information that is privileged, confidential and exempt from disclosure under the Municipal Freedom of Information and Protection of Privacy Act. If you have received this message in error, please notify the sender immediately advising of the error and delete the message without making a copy. Thank you.

---

**From:** Jessica Sciascia  
**Sent:** October 29, 2024 1:46 PM  
**To:** cofa <cofa@king.ca>  
**Cc:** Dhvani Shah <dshah@king.ca>; Iqra Chaudhry <ichaudhry@king.ca>  
**Subject:** RE: REQUEST FOR COMMENTS: A-24-50 (204 Hollingsworth Drive, King City)

Hello,

We have no objections to the application.

Please see my comments below:

- Applicant to provide a revised site plan with the following information:

- Existing and proposed grades
- Identify existing and proposed drainage patterns
- Pool enclosure with self closing self latching gates
- Identify roof leaders on the house and proposed cabana
- Provide erosion and sediment control Measures, ie. silt fencing
- A 0.6 m undisturbed setback is required from all property lines, swales in this area shall be maintained
- More information can be found on our website, <https://www.king.ca/dev-eng-approval>
- Pool permit will be required for the proposed pool, <https://www.king.ca/poolpermit> ,applicant to resubmit new plans for approval
- Note, the addition of more hardscaping may result in requiring a hard landscaping exemption permit, <https://www.king.ca/HardLandscapingExemption>

Thank you,

**Jessica Sciascia**

Civil Engineering Technologist | Growth Management Services

2585 King Road, King City, Ontario L7B 1A1

t: 905-833-5321 ext. 1055 | c: 416-526-6985 | [www.king.ca](http://www.king.ca)





The information contained in this message is directed in confidence solely to the person(s) named above and may not be otherwise distributed, copied or disclosed. This message may contain information that is privileged, confidential and exempt from disclosure under the Municipal Freedom of Information and Protection of Privacy Act. If you have received this message in error, please notify the sender immediately advising of the error and delete the message without making a copy. Thank you.

---

**From:** cofa <[cofa@king.ca](mailto:cofa@king.ca)>

**Sent:** October 24, 2024 11:59 AM

**To:** Karen Wootton <[kwootton@king.ca](mailto:kwootton@king.ca)>; Jessica Sciascia <[jsciascia@king.ca](mailto:jsciascia@king.ca)>; Nairn Robertson <[nrobertson@king.ca](mailto:nrobertson@king.ca)>; by-law <[by-law@king.ca](mailto:by-law@king.ca)>; Andrew Quattrociocchi <[aquattrociocchi@king.ca](mailto:aquattrociocchi@king.ca)>; York Region ([developmentservices@york.ca](mailto:developmentservices@york.ca)) <[developmentservices@york.ca](mailto:developmentservices@york.ca)>


**Cc:** Dhwani Shah <[dshah@king.ca](mailto:dshah@king.ca)>

**Subject:** REQUEST FOR COMMENTS: A-24-50 (204 Hollingsworth Drive, King City)

Good morning,

Please see attached Notice of Hearing and link below for related submission materials.



 [A-24-50 - CIRC](#)

Kindly provide comments and/or conditions to [COFA@King.ca](mailto:COFA@King.ca) no later than **Thursday, October 31st , 2024.**

Thank you,



**ADRIANA BOZZO**

Supervisor, Planning Coordination and Liaison | Planning Division

2585 King Road, King City, Ontario L7B 1A1

t: 289-800-2667 | [www.king.ca](http://www.king.ca)



The information contained in this message is directed in confidence solely to the person(s) named above and may not be otherwise distributed, copied or disclosed. This message may contain information that is privileged, confidential and exempt from disclosure under the Municipal Freedom of Information and Protection of Privacy Act. If you have received this message in error, please notify the sender immediately advising of the error and delete the message without making a copy. Thank you.

## Dhwani Shah

---

**From:** Nairn Robertson [nrobertson@king.ca](mailto:nrobertson@king.ca)

**Sent:** Thursday, October 24, 2024 3:32 PM

**To:** cofa [cofa@king.ca](mailto:cofa@king.ca)

**Subject:** RE: REQUEST FOR COMMENTS: A-24-50 (204 Hollingsworth Drive, King City)

Good afternoon COFA, KFES have no comments/concerns with this minor variance application. Thank you, talk soon.



**Nairn G. Robertson, C.E.T., C.F.I.**

**Fire Prevention Officer**

[Fire and Emergency Services | Township Of King](#)

2045 King Road | King City, ON | L7B 1A1

905.833.4071

[nrobertson@king.ca](mailto:nrobertson@king.ca)

Proudly Serving the residents of the Township of King!

The information contained in this message is directed in confidence solely to the person(s) named above and may not be otherwise distributed, copied, or disclosed.

This message may contain information that is privileged, confidential and exempt from disclosure under the Municipal Freedom of Information and Protection of Privacy Act.

If you have received this message in error, please notify the sender immediately advising of the error and delete the message without making a copy. Thank you.

## Dhwani Shah

---

**From:** Development Services [developmentservices@york.ca](mailto:developmentservices@york.ca)  
**Sent:** Thursday, October 24, 2024 3:45 PM  
**To:** cofa [cofa@king.ca](mailto:cofa@king.ca)  
**Subject:** RE: REQUEST FOR COMMENTS: A-24-50 (204 Hollingsworth Drive, King City)

**CAUTION!** This email originated from **outside your organization**. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the **Report a Phish** Outlook add-in. If you think you may have clicked on a phishing link, please mention that when reporting the phishing email.

Hi Adriana,

The Region has completed its review of minor variance application A-24-50 and has no comment. Please provide a copy of the notice of decision for our records.

Many thanks,

**Christine Meehan, B.U.R.P.I., B. B. A** | Planner (Intake Lead), Economic and Development Services Branch,  
Corporate Services Department

---

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 | [christine.meehan@york.ca](mailto:christine.meehan@york.ca) | [www.york.ca](http://www.york.ca)

*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.



THE CORPORATION OF THE TOWNSHIP OF KING  
REPORT TO COMMITTEE OF ADJUSTMENT

November 20, 2024

Planning Division  
Report File #: A-24-50

RE: File # A-24-50  
Municipal Address: 204 Hollingsworth Drive, Village of King City  
Legal Address: Lot 44, Plan 502  
Applicant: Gurvir Pahal  
Agent: Schillerco Ltd. (c/o Lucas Cocomello)

---

*Note: This report was prepared on the basis of comments received prior to November 4, 2024.*

1. **RECOMMENDATION:**

**THAT** application #A-24-50 **BE APPROVED** with conditions as noted in Attachment 1.

2. **PROPOSAL:**

**Location:**

The subject property is located south of King Road, east of Keele Street, west of Dufferin Street and north of King Vaughan Road and is comprised of an irregularly shaped parcel of approximately 848.12 m<sup>2</sup> (0.0848 hectares) in lot area.

Existing land uses on the property include a detached dwelling (254.15 m<sup>2</sup>). Neighbouring properties include detached dwellings to the north, south, east, and west.

**Proposed Development:**

The applicant is seeking relief from the zoning by-law for a reduction to a minimum required interior side yard setback and an increase in maximum permitted lot coverage to facilitate the construction of a cabana measuring 44.11 m<sup>2</sup> in area, as summarized below.



#	Zoning By-law #2017-66, as amended	Variance request:
1	<p><b>Section 3.2.2 a)</b> requires that no accessory building or structure shall be built closer to the front lot line or side lot line than the minimum distance required by the By-law for the main building on the lot.</p> <p><b>Table 6.3b – Lot and Building Requirements for the Residential Zones (Single Detached Dwellings)</b> requires a minimum interior side yard of 3.6 metres, where the building height is greater than 6.0 metres, for the main building on the lot in the R1D zone.</p>	<p>Relief from <b>Section 3.2.2 a)</b> of Zoning By-Law 2017-66 to permit an interior side yard setback of 1.19 metres for the proposed cabana (accessory structure), whereas the By-law requires a minimum interior side yard setback of 3.6 metres (Table 6.3b).</p>
2	<p><b>Table 6.3b – Lot and Building Requirements for the Residential Zones (Single Detached Dwellings)</b> requires a Maximum Lot Coverage of 30% within the R1D zone.</p>	<p>Relief from <b>Table 6.3b</b> to permit a maximum lot coverage of 35.17% (298.26 m<sup>2</sup>), whereas the By-Law permits a Maximum Lot Coverage of 30%.</p>

**PLANNING ACT (SECTION 45(1)) – “FOUR TESTS” SUMMARY:**

The following analysis of the subject variances is based on the four (4) tests of a Minor Variance as set out in Section 45(1) of the Planning Act.

- 1) Does the Minor Variance maintain the general intent and purpose of the Official Plan?

**Variances 1 and 2:**

Yes       No

As of July 1st, 2024, the Township of King is responsible for administrating the York Region Official Plan 2022 (“YROP 2022”). As per Schedule 1A – Land Use Designations of the YROP 2022, the subject property is designated as “Community Area”. The designation permits a mix of residential uses in proximity to amenities and services.

The subject property is designated as “Established Neighbourhood” as per Schedule ‘D1’ (Village of King City Land Use Designations) of the Township of King Official Plan (“Our King”) (2019). Lands within the “Established Neighbourhood” designation are intended for low-density residential uses, including single-detached dwellings, and uses, buildings, and structures that are accessory, thereto. The proposed variances are requested to facilitate the construction of a cabana, which is a permitted use within the designation.

- 2) Does the Minor Variance maintain the general intent and purpose of the Zoning By-law?

**Variance 1:**

Yes       No

The subject property is zoned Residential Single Detached 'D' ('R1D') to Schedule 'A6' of the Township King City and Schomberg Urban Area Zoning By-law 2017-66, as amended. Permitted uses within the R1D zone include a single detached dwelling and accessory uses, buildings, and structures in accordance with Section 3.2 of the zoning by-law.

Accessory use is defined as 'a use naturally and normally incidental to, subordinate to, and exclusively devoted to, a principal use and located on the same lot as the principal use.'

Accessory building or structure is defined as 'a detached building or structure that is not used for human habitation, but the use of which is naturally and normally incidental to, subordinate to or exclusively devoted to a principal use or building and located on the same lot therewith, and includes a detached private garage or a carport.'

Section 3.2.2 a) of the zoning by-law prescribes that no accessory buildings or structures shall be built closer to the front lot line or side lot line than the minimum distance required by the By-law for the main building on the lot. The application requests relief from Section 3.2.2 a) of Zoning By-law 2017-66 to permit a minimum interior side yard setback of 1.19 metres for a proposed cabana, whereas the By-law requires a minimum interior side yard setback of 3.6 metres. Details with respect to the location of the proposed cabana on the property are provided on the attached Site Plan and shown in Site Photos.

The intent of minimum interior side yard setback provisions for accessory structures and buildings is to ensure adequate space is available for maintenance of the structure and property (including proper conveyance of stormwater/drainage) and to minimize adverse visual impacts. The proposed interior side yard setback for the cabana is in accord with the intent of interior side yard zone provisions.

The Site Plan illustrates that the requested relief affects a portion of the proposed structure; specifically, as it relates to a single corner on the west side of the cabana. This is, in part, attributed to the property's irregular shape and the need to position the structure functionally and efficiently. Along the remainder of the west side of the proposed cabana, the interior side yard setback gradually increases, extending to 3.37 metres at the opposite west corner. This 3.37 metre interior side yard setback is slightly less than the required 3.60 metres as prescribed in Zoning By-law 2017-66. The requested 1.19 metre interior side yard setback at one corner of the proposed cabana's west side still ensures adequate space is available for maintenance and overall conveyance of stormwater and drainage. A 0.6 metre undisturbed setback is provided. Development Engineering staff has expressed no objections to this variance.

**Variance 2:**

Yes       No

The application seeks relief from Table 6.3b of Zoning By-law 2017-66 to permit an increase in the overall maximum lot coverage to 35.17% (298.26 m<sup>2</sup>) (rounded up from 35.167%), whereas the By-law permits a maximum lot coverage of 30%. The proposed 35.17% lot coverage is inclusive of the existing detached dwelling (249.54 m<sup>2</sup>), the existing porch area (4.61 m<sup>2</sup>), and the proposed cabana accessory structure (44.11 m<sup>2</sup>).

The intent of the maximum lot coverage provision is to maintain size and scale consistency with the existing residential neighbourhood, and provide adequate space for amenity yard areas, grading, drainage, and maintenance. The proposed total maximum lot coverage of 35.17% meets the intent of the applicable zoning provision in this regard.

Notwithstanding the proposed increase in permitted lot coverage, the existing lot will maintain sufficient amenity area and open space and will facilitate grading, drainage, and maintenance. Development Engineering staff has expressed no objections to this variance.

Planning Division staff note that the proposed increase in permitted lot coverage will not directly impact the existing neighborhood streetscape and character, as the proposed cabana is to be located at the rear of the subject property and complies with all other applicable zone provisions (i.e., buildings height, rear yard and front yard setbacks, maximum accessory lot coverage) pursuant to the zoning by-law.

- 3) Is the Minor Variance desirable for the appropriate development or use of land, building, or structure?

**Variances 1 and 2:**

Yes       No

The requested variances are required to facilitate the construction of a proposed cabana, which is a permitted accessory use to the existing detached dwelling. As an accessory structure, the cabana will provide storage and recreational space for the residents. The cabana is not to be used for human habitation.

The requested reduction in interior side yard setback and increase in maximum permitted lot coverage are not expected to have a negative impact on the functionality or aesthetic appeal of the property. The increased total lot coverage and reduced interior side yard setback will provide sufficient space for maintenance, drainage, and grading needs. The Site Plan submitted demonstrates that adequate amenity space will be provided on the lot, including a pool and a rear patio area. Additionally, the extra building coverage introduced by the proposed cabana is not anticipated to have a significant effect on the established character of the neighbourhood.

Planning staff have referred to aerial photography for the area and note that nearby properties have similarly sized dwellings with accessory structures comparable in

dimensions to the proposed cabana. In this regard, the proposed cabana is compatible with the general neighbourhood character of the immediate area.

The Building Division has no objections to the proposed variances. The applicant is reminded that a building permit is required prior to the commencement of construction.

- 4) Is the relief sought minor in nature?

**Variances 1 and 2:**

Yes       No

The requested variances are deemed to be minor in nature as they are not anticipated to present adverse impacts to the subject land or surrounding properties.

Sufficient open space will be provided for grading, drainage, and maintenance, as well as adequate space for amenity areas. Additionally, the proposed variances are consistent with developments assessed in the surrounding neighbourhood.

Overall, Planning Division staff are also satisfied that the proposed variances meet the intent of the Official Plan, meet the intent of the Zoning By-law, and are desirable for the appropriate development and use of land.

Prepared by the Township of King Planning Division on November 8, 2024.

Prepared by:



---

Iqra Chaudhry  
Planner I

**ATTACHMENTS:**

Attachment 1: Recommended Conditions of Approval Table

Attachment 2: Site Photos





THE CORPORATION OF THE TOWNSHIP OF KING  
CONSOLIDATION OF RECOMMENDED CONDITIONS

November 20, 2024

Planning Division  
Report File #: A-24-50

RE: Attachment 1 - Recommended Conditions of Approval Table.docx  
Municipal Address: 204 Hollingsworth Drive, Village of King City  
Legal Address: Plan 502, Lot 44  
Applicant: Gurvir Pahal  
Agent: Schillerco Ltd. (c/o Lucas Cocomello)

---

*Note: Based on comments received prior to November 4, 2024.*

#	Schedule of Conditions	Department Contact
1	That the Plans submitted for a Building Permit shall be in substantial conformity with the Site Plan prepared for the Minor Variance Application.	Iqra Chaudhry, Planning Division <a href="mailto:ichaudhry@king.ca">ichaudhry@king.ca</a>

**Minor Variance Application File #: A-24-50  
204 Hollingsworth Drive, Village of King City**



Photo #1: Photo shows the subject property municipally known as 204 Hollingsworth Drive.



Photo 2: Photo shows the subject property from the street. The subject property features an existing dwelling (249.54 m<sup>2</sup>) with a front porch (4.61 m<sup>2</sup>). Current/existing lot coverage is 29.96%.

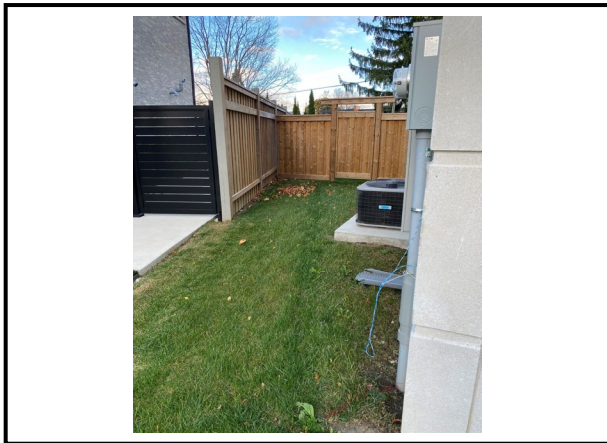


Photo #3: Photo shows the entrance to the rear yard/backyard where a proposed cabana (accessory structure) is to be facilitated.

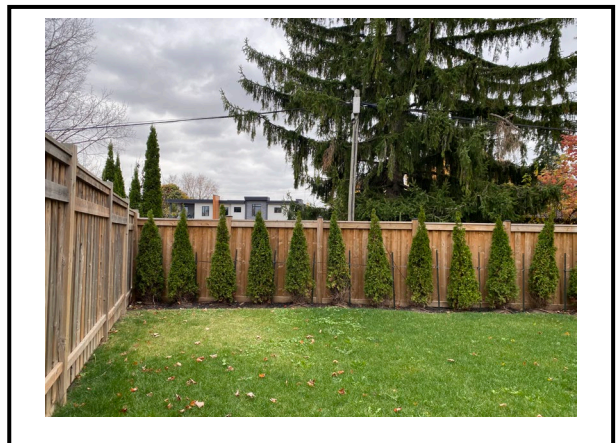


Photo #4: Photo shows the approximate chosen location for the proposed accessory structure (cabana). The cabana is to be 44.11 m<sup>2</sup> in area. The facilitation of the proposed cabana will increase the overall maximum lot coverage from 29.96% to 35.17%.



Photo #5: Photo shows the west side area of the proposed cabana where an interior side yard setback of 1.19 metres is requested as part of the Minor Variance application.



Photos #6 to 9: Photos show the rear yard/backyard space.