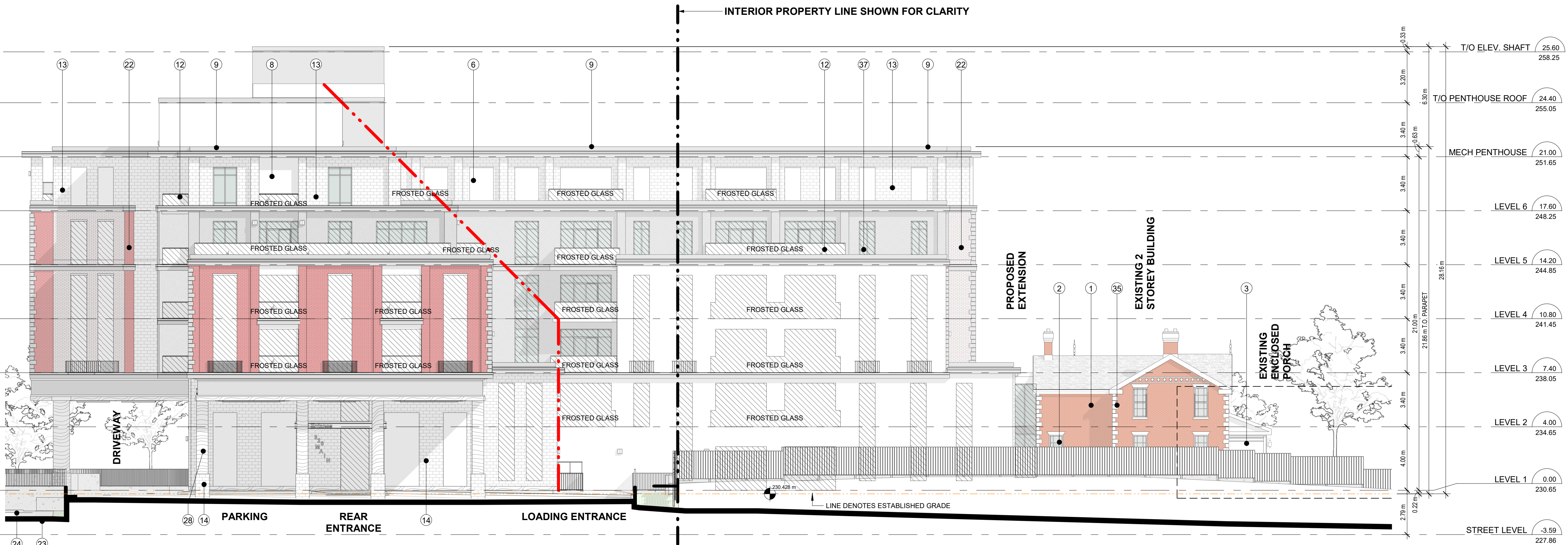


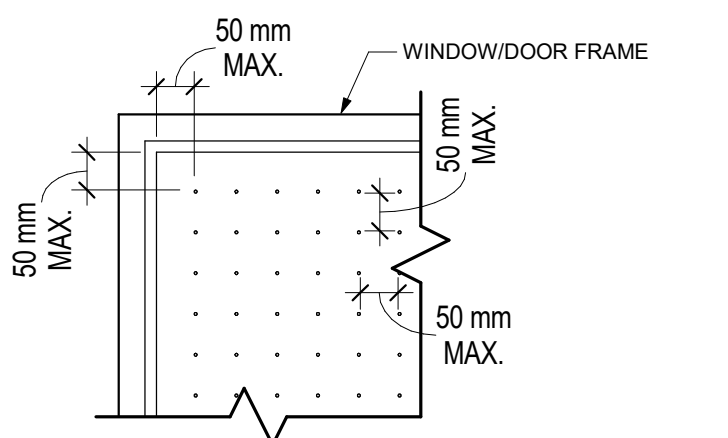
**MATERIALS LEGEND**

- 1 EXISTING MASONRY BRICK VENEER TO REMAIN
- 2 EXISTING WINDOW CASEMENT TO BE RENOVATED
- 3 EXISTING SIDING TO BE RENOVATED
- 4 SMOOTH STONE QUOINS (GREY / WHITE) TO MATCH EXISTING
- 5 PREFINISHED METAL FLASHING CW SOFFIT
- 6 THERMALLY BROKEN INSULATED GLAZED PANEL IN BLACK ANOD. FRAME
- 7 THERMALLY BROKEN INSULATED SPANDREL PANEL IN BLACK ANOD. FRAME
- 8 THERMALLY BROKEN INSULATED SLIDING PATIO DOOR IN BLACK ANOD. FRAME
- 9 PREFINISHED METAL CAP FLASHING
- 10 TEXTURED PREFINISHED METAL PANEL CW PANEL REVEALS (GREY)
- 11 THERMALLY BROKEN INSULATED SWING DOOR IN BLACK ANOD. FRAME
- 12 TEMPERED GLAZED RAILING SYSTEM
- 13 POLISHED STONE BLOCK MASONRY (LIGHT GREY)
- 14 POLISHED STONE BLOCK MASONRY (WHITE / GREY)
- 15 PRECAST WINDOW TRIM (DARK GREY)
- 16 THERMALLY BROKEN INSULATED SWING DOOR IN BLACK ANOD. FRAME
- 17 CANOPY SYSTEM CW PREFINISHED METAL PROFILE AND SOFFIT (GREY)
- 18 CANOPY BANDING CW PREFINISHED METAL TRIM AND STONE SOFFIT (WHITE)
- 19 CAST-IN-PLACE CONCRETE WALL CW METAL BAR RAILING SYSTEM
- 20 PAINTED INSULATED METAL DOOR AND FRAME
- 21 LIGHT FIXTURE
- 22 MASONRY BRICK VENEER (MATCH EXISTING HERITAGE BUILDING)
- 23 GRADE
- 24 LANDSCAPING
- 25 SITE FEATURE
- 26 SITE SEATING
- 27 ORNAMENTAL WROUGHT IRON FENCE
- 28 SMOOTH FACED POLISHED STONE CLADDING (GREY)
- 29 PREFINISHED ROLL UP DOOR AND ASSEMBLY
- 30 BRICK VENEER RETAINING WALL CW METAL BAR RAILING SYSTEM
- 31 NEW WOOD FENCING TO MATCH EXISTING. REFER TO SITE PLAN FOR LOCATION
- 32 SITE FURNITURE SHOWN FOR CLARITY
- 33 SIGNAGE / WAYFINDING
- 34 ELEC. TRANSFORMER
- 35 EXISTING STONE QUOINS
- 36 ROOFTOP TRELLIS
- 37 BIRD FRIENDLY DESIGN, PATTERN LOCATIONS



**1 NORTH ELEVATION**  
1:150

- GENERAL NOTES**
- 1 Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  - 2 All work shall comply with the 2012 Ontario Building Code and amendments.
  - 3 Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  - 4 All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  - 5 All documents remain the property of the architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  - 6 The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties.
  - 7 The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



**NOTE:**  
VISUAL MARKER PATTERN TYPICAL TO MIN. 90% OF ALL GLAZING MATERIAL AS PER CSA 3.3.1. OF BIRD FRIENDLY DESIGN.

**NOTE:**  
VISUAL MARKER PATTERN TO BE USED FOR RAILINGS, WINDOW & DOOR GLAZING WHERE SHOWN ON ELEVATIONS

**Bird Friendly Design Detail**  
N.T.S.

No.	Date	Revision
5	2025-05-09	RE-ISSUED FOR SPA
4	2024-05-27	RE-ISSUED FOR SPA
3	2023-11-02	ISSUED FOR SPA
2	2023-04-24	ISSUED FOR SPA
1	2021-12-22	ISSUED FOR ZBA

Client:

Project Name / Address:

**MARCOR REALTY LTD**

Project No: 21064

Drawing Date: 07/22/02

Drawn by: Author  
Checked by: Checker

Office Location: KITCHENER

Plot Date / Time: 5/13/2025 8:11:04 AM

Drawing Name:

**ELEVATIONS**

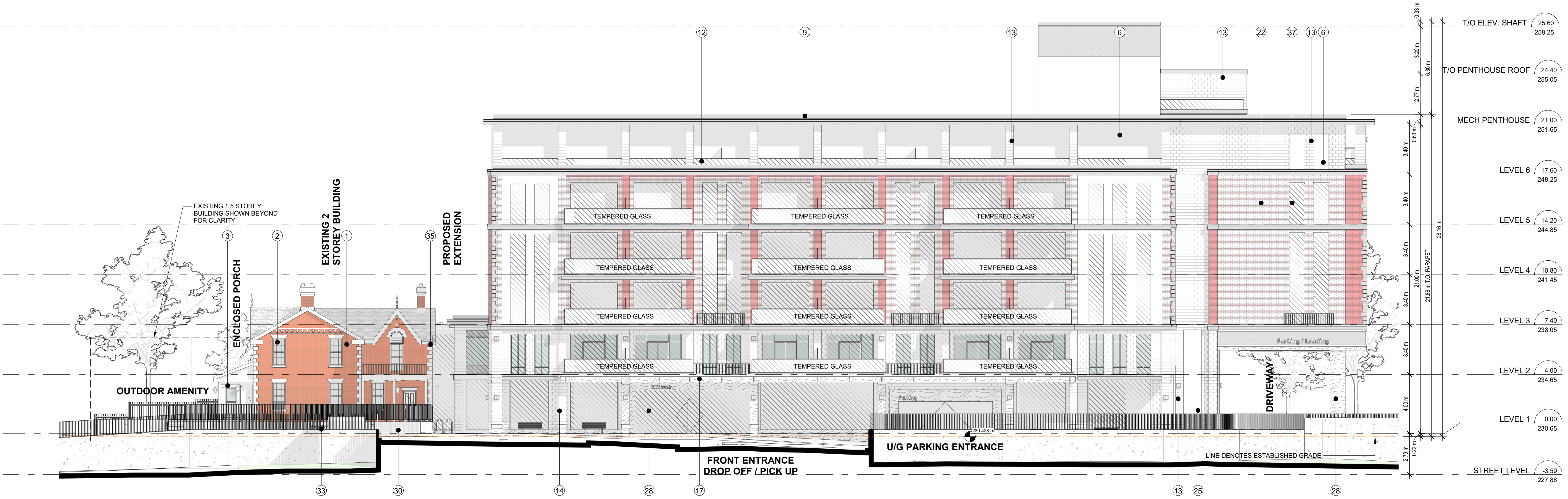
Drawing Scale: As indicated

Status: PRELIMINARY

Revision No.: r5

Drawing No.:

**2 SOUTH ELEVATION**  
1:150

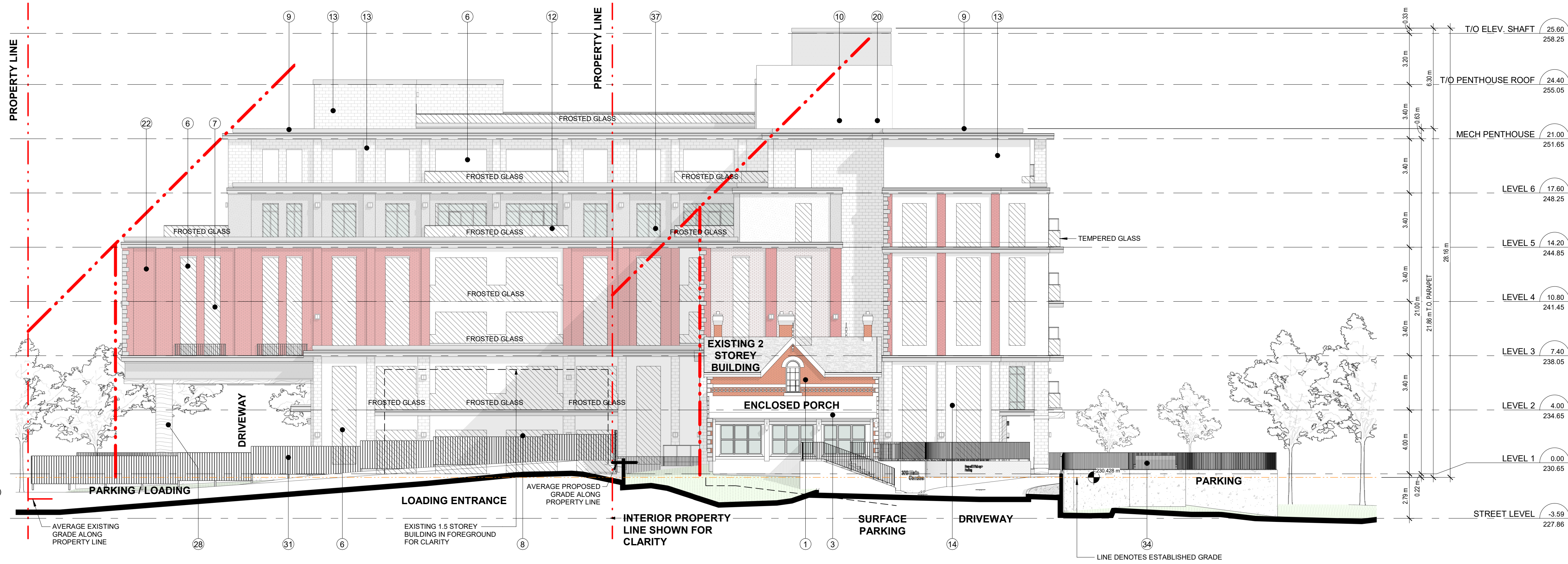


Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The material contained herein reflects the Consultant's best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties. The Consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

C:\Users\etmanski\Documents\21064 - 326 Main St - Y11 Building RVT 2021\_eetmanski.rvt

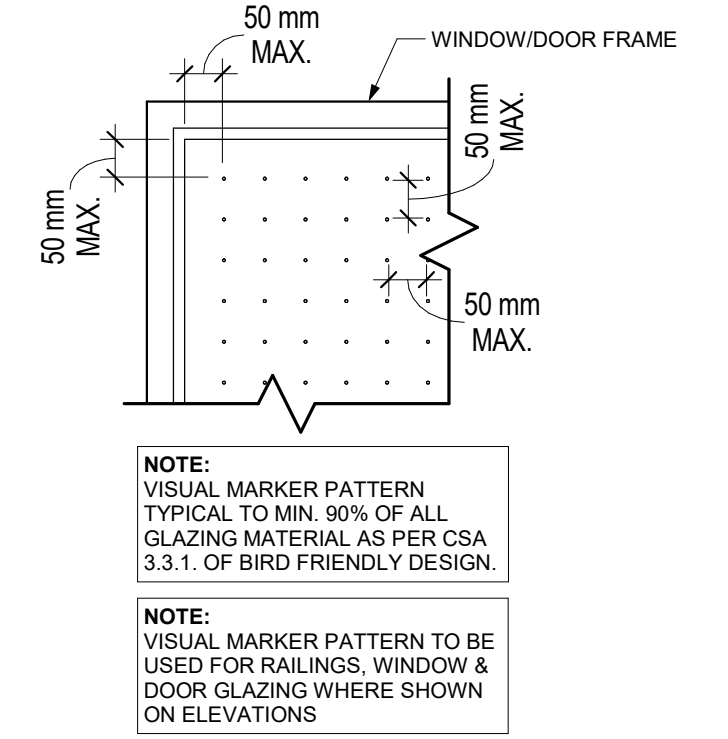
**MATERIALS LEGEND**

- 1 EXISTING MASONRY BRICK VENEER TO REMAIN
- 2 EXISTING WINDOW CASEMENT TO BE RENOVATED
- 3 EXISTING SIDING TO BE RENOVATED
- 4 SMOOTH STONE QUOINS (GREY / WHITE) TO MATCH EXISTING
- 5 PREFINISHED METAL FLASHING C/W SOFFIT
- 6 THERMALLY BROKEN INSULATED GLAZED PANEL IN BLACK ANOD. FRAME
- 7 THERMALLY BROKEN INSULATED SPANDREL PANEL IN BLACK ANOD. FRAME
- 8 THERMALLY BROKEN INSULATED SLIDING PATIO DOOR IN BLACK ANOD. FRAME
- 9 PREFINISHED METAL CAP FLASHING
- 10 TEXTURED PREFINISHED METAL PANEL C/W PANEL REVEALS (GREY)
- 11 THERMALLY BROKEN INSULATED SWING DOOR IN BLACK ANOD. FRAME
- 12 TEMPERED GLAZED RAILING SYSTEM
- 13 POLISHED STONE BLOCK MASONRY (LIGHT GREY)
- 14 POLISHED STONE BLOCK MASONRY (WHITE / GREY)
- 15 PRECAST WINDOW TRIM (DARK GREY)
- 16 THERMALLY BROKEN INSULATED SWING DOOR IN BLACK ANOD. FRAME
- 17 CANOPY SYSTEM C/W PREFINISHED METAL PROFILE AND SOFFIT (GREY)
- 18 CANOPY BANDING C/W PREFINISHED METAL TRIM AND STONE SOFFIT (WHITE)
- 19 CAST-IN-PLACE CONCRETE WALL C/W METAL BAR RAILING SYSTEM
- 20 PAINTED INSULATED METAL DOOR AND FRAME
- 21 LIGHT FIXTURE
- 22 MASONRY BRICK VENEER (MATCH EXISTING HEIGHT BUILDING)
- 23 GRADE
- 24 LANDSCAPING
- 25 SITE FEATURE
- 26 SITE SEATING
- 27 ORNAMENTAL WROUGHT IRON FENCE
- 28 SMOOTH FACED POLISHED STONE CLADDING (GREY)
- 29 PREFINISHED ROLL UP DOOR AND ASSEMBLY
- 30 BRICK VENEER RETAINING WALL C/W METAL BAR RAILING SYSTEM
- 31 NEW WOOD FENCING TO MATCH EXISTING. REFER TO SITE PLAN FOR LOCATION
- 32 SITE FURNITURE SHOWN FOR CLARITY
- 33 SIGNAGE / WAYFINDING
- 34 ELEC. TRANSFORMER
- 35 EXISTING STONE QUOINS
- 36 ROOFTOP TRELIS
- 37 BIRD FRIENDLY DESIGN, PATTERN LOCATIONS



**1 WEST ELEVATION**  
1:150

- GENERAL NOTES**
- 1 Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  - 2 All work shall comply with the 2012 Ontario Building Code and amendments.
  - 3 Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  - 4 All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  - 5 All documents remain the property of the architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  - 6 The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties.
  - 7 The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



**Bird Friendly Design Detail**  
N.T.S.

No.	Date	Revision
5	2025-05-09	RE-ISSUED FOR SPA
4	2024-05-27	RE-ISSUED FOR SPA
3	2023-11-02	ISSUED FOR SPA
2	2023-04-24	ISSUED FOR SPA
1	2021-12-22	ISSUED FOR ZBA

Client: \_\_\_\_\_  
Project Name / Address: \_\_\_\_\_

**MARCOR REALTY LTD**

**SRM**  
architects+  
urban+designers

Project No: 21064  
Drawing Date: 12/14/21  
Author: \_\_\_\_\_  
Checked by: \_\_\_\_\_  
Office Location: KITCHENER  
Plot Date / Time: 5/13/2025 8:11:31 AM

**ELEVATIONS**

Drawing Scale: As indicated  
Status: PRELIMINARY  
Revision No: r5  
Drawing No: \_\_\_\_\_

**D4.2**

Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The material contained herein reflects the Consultant's best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties. The Consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.  
C:\Users\leitmanski\Documents\21064 - 326 Main St - V11 Building RVT 2021\_eitmanski.rvt